



# Council Communication

**To:** Mayor and Village Council  
**From:** Jennifer DeBoisbriand, Planning Director  
**Date:** July 24, 2025  
**SUBJECT:** Public Hearing - 80951 Old Hwy- Variance Rear Yard Setback

## Background:

The subject property is located at 80951 Old Highway. The property is located in Upper Matecumbe Key. The site maintains a lot area of approximately 11,180 square feet. The site is zoned Settlers Residential (SR) District and is located within the Mixed Use (MU) Future Land Use Map (FLUM) category. The site is adjacent to commercial properties, located within the Highway Commercial (HC) Zoning District to the north, south and west and residential properties, located within Settlers Residential and Multi-Family Zoning Districts to the east.

There is currently a multifamily duplex residence on the site. The applicant is seeking a variance to encroach within the 20 foot rear setback and to allow a 9 foot rear setback.

## Analysis:

According to Section 30-221: "A variance is relaxation of the terms of this chapter where such action will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of actions of the applicant, a literal enforcement of this chapter would result in unnecessary and undue hardship on the property. As used in this section, a variance is authorized only for height, setbacks, parking, and loading requirements, and landscaping, unless otherwise specified in this chapter. Under no circumstances shall the director of planning and development services or the village council grant a variance to permit a floor area ratio or a use not permitted under the terms of this chapter."

Pursuant to Sec. 30-221 (d) "When considering an application for a variance, the director and village council shall consider the following factors, and no variance shall be approved which fails to meet any standard below. Failure to comply with any standard shall be deemed adverse to the public interest.

(1) Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

In order meet the existing foundation the concrete slab must encroach into the setback. The addition is being constructed for those with mobility issues and the aging population and the access needs to be level with the existing home.

(2) The special conditions and circumstances do not result from the actions of the applicant;

The topography, size and shape of the property dictate how the slab should be poured.

(3) Literal interpretation of the provisions of this chapter deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and works unnecessary and undue hardship on the applicant;

Under section 30-691 accessory structures are limited to single family structures only. This literal interpretation is a hardship for the applicant.

(4) Granting the variance requested conveys the same treatment to the individual owner as to the owner of other lands, buildings, or structures in the same zoning district;

Granting the variance would provide this applicant with same treatment by allowing what amounts to an accessory structure a reduced setback.

(5) The variance, if granted, is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

Yes

(6) The grant of the variance is in harmony with the general intent and purpose of this chapter, and is not injurious to the neighborhood, or otherwise detrimental to the public welfare."

The property is surrounded by commercial activity. Granting this variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

**Budget Impact:**

None

**Staff Impact:**

None

**Recommendation:**

Staff has reviewed the request for a Variance and determined that the request is consistent with the goals, objectives, and policies of the comprehensive plan and does comply with applicable provisions of the Code of Ordinances. Therefore, Staff recommends that the Village Council APPROVE the proposed Variance to the construction of an attached accessory structure within the required 20-foot rear setback and allow a 9 foot rear setback by adoption of the attached Resolution.

**Attachments:** 1. 80951 CC Backup  
2. Resolution 80951 old hwy

**RESOLUTION NO. 25-XX**

**A RESOLUTION OF THE VILLAGE COUNCIL OF ISLAMORADA, VILLAGE OF ISLANDS, FLORIDA, CONSIDERING THE REQUEST OF PATRICIA ESSLINGER FOR A VARIANCE FROM THE PROVISIONS OF SECTION 30-691(E)(4)(C) – REAR YARD SETBACK, TO ALLOW FOR THE CONSTRUCTION OF AN ADDITION WITHIN THE REAR YARD SETBACK FOR PROPERTY LOCATED AT 80951 OLD HWY ON UPPER MATECUMBE KEY, WITHIN THE SR (SETTLERS RESIDENTIAL) ZONING DISTRICT, WITH REAL ESTATE NUMBER 00096200-000000, AS LEGALLY DESCRIBED HEREIN; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, Patricia Esslinger (the "Applicant") is the owner of property located at 80951 Old Highway on Upper Matecumbe Key, with Parcel Identification Number 00096200-000000 and legally described below (the "Property") within Islamorada, Village of Islands, Florida (the "Village"); and,

**WHEREAS**, the Applicant has submitted an application for a variance from Section 30-691(e)(4)(c) to allow for the construction of an attached accessory structure within the rear yard setback. The proposed variance is for an eleven foot (11') reduction in the required twenty foot (20') rear yard setback; and

**WHEREAS**, on July 24, 2025, the Village Council of Islamorada, Village of Islands, Florida (the "Village Council") conducted a duly noticed Public Hearing regarding the Variance Request (the "Request").

**NOW, THEREFORE, BE IT RESOLVED BY THE VILLAGE COUNCIL OF ISLAMORADA, VILLAGE OF ISLANDS, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The above recitals are true, correct, and incorporated herein by this reference.

**Section 2. Findings of Fact.** The Village Council, having considered the Request, the relevant support materials and public testimony given at the Hearing, does hereby find and determine:

1. The Request complies with the standards of Code Sec. 30-221(d) for considering Variances.
2. The Request is consistent with the goals, objectives, and policies of the Village Comprehensive Plan, including standards for building and structural intensities and densities, and intensities of use.
3. The Village Council, having considered the testimony and evidence presented by all parties, including Village Staff, does hereby find and determine:

- a. The Application for a Variance **does/does not** meet the requirements set forth in Code Section 30-221 and **has/has not** demonstrated through competent substantial evidence that the criteria for granting the Request have been met; and,
- b. The Village Council **approves/denies** the Request submitted by the Applicant, for the following described property:

5 64 37 ISLAND OF UPPER MATECUMBE PB1-41 PT LOT 6 as shown in the Public Records of Monroe County.

**Section 3. Conclusions of Law.** Based upon the above Findings of Fact, the Village Council does hereby make the following Conclusions of Law:

- (1) The Request has been processed in accordance with the applicable provisions of the LDRs, and will not be detrimental to the community as a whole.
- (2) In rendering its decision, as reflected in this Resolution, the Village Council has:

- (a) Accorded procedural due process; and,
- (b) Observed the essential requirements of the law; and,
- (c) Supported its decision by substantial competent evidence contained within the record.

(3) The Request is hereby **APPROVED/DENIED**.

**Section 4. Effective Date.** This Resolution shall not take effect until after both thirty (30) days following the date it is filed with the Village Clerk, during which time the Request herein shall be subject to appeal as provided in the Code; and following the thirty (30) days, this resolution shall not be effective or acted upon by the Applicant until forty-five (45) days following the rendition to the Department of Commerce (DOC), pursuant to Chapter 9J-1 of the Florida Administrative Code. During those forty-five (45) days, the DOC may appeal this resolution to the Florida Land and Water Adjudicatory Commission, and that such an appeal stays the effectiveness of this Resolution until the appeal is resolved by agreement or order.

**Remainder of the page intentionally left blank.**

Motion to adopt by \_\_\_\_\_, seconded by \_\_\_\_\_.

**FINAL VOTE AT ADOPTION**

Mayor Sharon Mahoney  
Vice Mayor Don Horton  
Councilman Steve Friedman  
Councilwoman Deb Gillis  
Councilwoman Anna Richards

**PASSED AND ADOPTED THIS 25<sup>TH</sup> DAY OF JULY 2025.**

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SHARON MAHONEY, MAYOR

ATTEST:

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MARNE MCGRATH, VILLAGE CLERK

APPROVED AS TO FORM AND LEGALITY  
FOR THE USE AND BENEFIT OF  
ISLAMORADA, VILLAGE OF ISLANDS:

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JOHN QUICK, VILLAGE ATTORNEY

This Resolution was filed in the Office of the Village Clerk of this \_\_\_\_\_ day of \_\_\_\_\_, 2024.



# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

Parcel ID	00096200-000000
Account#	1111783
Property ID	1111783
Millage Group	50VI
Location	80951 OLD Hwy, UPPER MATECUMBE KEY
Address	
Legal Description	5 64 37 ISLAND OF UPPER MATECUMBE PB1-41 PT LOT 6 OR286-169/170 OR322-21/24 OR799-260 OR816-1751/1752R/S OR1655-1908/09QC OR1659-1923D/C OR2051-2400/01C OR2124-653/54 OR2299-874 OR2803-886LET/ADM (Note: Not to be used on legal documents.)
Neighborhood	4450
Property Class	MULTI-FAMILY DUPLEX (0802)
Subdivision	
Sec/Twp/Rng	05/64/37
Affordable Housing	No



### Owner

ESSLINGER PATRICIA S  
80951 Old Hwy  
Islamorada FL 33036

### Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$241,922	\$230,926	\$233,675	\$198,073
+ Market Misc Value	\$18,001	\$16,045	\$15,528	\$9,012
+ Market Land Value	\$244,087	\$246,072	\$204,482	\$169,824
= Just Market Value	<b>\$504,010</b>	<b>\$493,043</b>	<b>\$453,685</b>	<b>\$376,909</b>
= Total Assessed Value	<b>\$247,834</b>	<b>\$240,616</b>	<b>\$386,306</b>	<b>\$351,187</b>
- School Exempt Value	(\$30,000)	(\$30,000)	\$0	\$0
= School Taxable Value	<b>\$217,834</b>	<b>\$210,616</b>	<b>\$453,685</b>	<b>\$376,909</b>

## Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$244,087	\$241,922	\$18,001	\$504,010	\$247,834	\$30,000	\$217,834	\$256,176
2023	\$246,072	\$230,926	\$16,045	\$493,043	\$240,616	\$30,000	\$210,616	\$252,427
2022	\$204,482	\$233,675	\$15,528	\$453,685	\$386,306	\$0	\$453,685	\$0
2021	\$169,824	\$198,073	\$9,012	\$376,909	\$351,187	\$0	\$376,909	\$0
2020	\$169,824	\$147,986	\$1,451	\$319,261	\$319,261	\$0	\$319,261	\$0
2019	\$168,455	\$150,262	\$1,509	\$320,226	\$320,226	\$0	\$320,226	\$0
2018	\$160,265	\$150,262	\$1,567	\$312,094	\$312,094	\$0	\$312,094	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES HWY (080H)	11,180.00	Square Foot	0	0

## Buildings

Building ID	6883	Exterior Walls	C.B.S.	
Style	GROUND LEVEL	Year Built	1963	
Building Type	M.F. - R2 / R2	Effective Year Built	2010	
Building Name		Foundation	CONCRETE SLAB	
Gross Sq Ft	1653	Roof Type	GABLE/HIP	
Finished Sq Ft	1200	Roof Coverage	METAL	
Stories	1 Floor	Flooring Type	CERM/CLAY TILE	
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED	
Perimeter	190	Bedrooms	2	
Functional Obs	0	Full Bathrooms	2	
Economic Obs	0	Half Bathrooms	0	
Depreciation %	16	Grade	500	
Interior Walls	DRYWALL	Number of Fire PI	0	
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,200	1,200	140
PTO	PATIO	453	0	182
<b>TOTAL</b>		<b>1,653</b>	<b>1,200</b>	<b>322</b>

## Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1995	2006	2 x 5	1	10 SF	2
FENCES	2020	2021	6 x 215	1	1290 SF	2
RW2	2021	2023	1 x 80	1	80 SF	5
TIKI	2021	2023	35 x 11	1	385 SF	5
FENCES	2020	2021	6 x 115	1	690 SF	2
RES POOL	2024	2025	11 x 20	1	220 SF	5
CUSTOM PATIO	2024	2025	0 x 0	1	600 SF	4

## Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
5/25/2007	\$282,500	Warranty Deed		2299	874	H - Unqualified	Improved		
6/14/2005	\$445,000	Warranty Deed		2124	653	Q - Qualified	Improved		

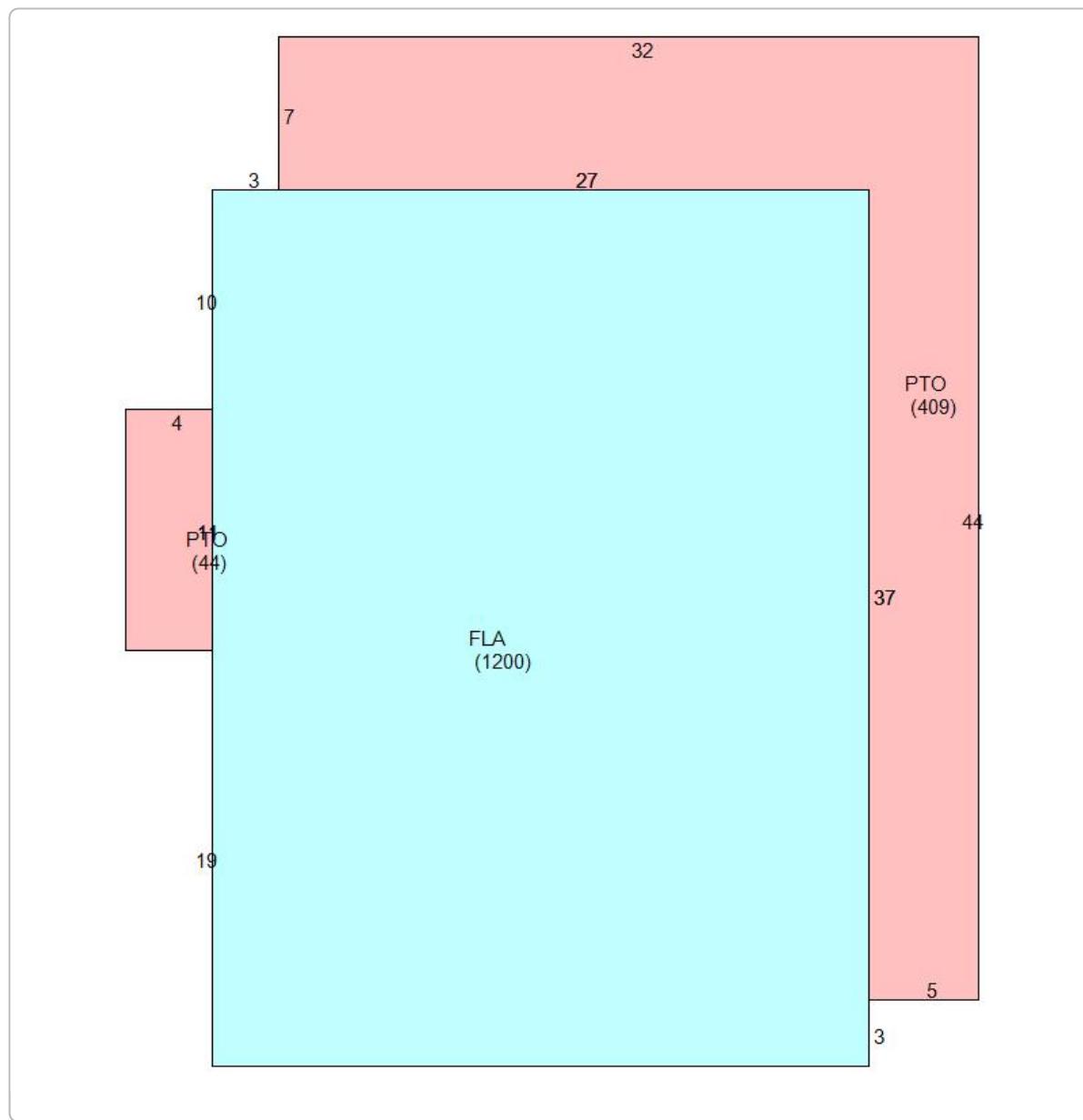
## Permits

Number	Date Issued	Status	Amount	Permit	Notes
				Type	
PRMCH202401077	10/16/2024	Active	\$5,725	Residential	NORTH APARTMENT REPLACEMENT OF A 1.5 TON 16.0 SEER 2 RUUD FRONT RETURN EQUIPMENT 16.0 SEER 2 AIR HANDLER AND CONDENSING UNIT
PRBLD202300933	10/19/2023	Completed	\$3,500	Residential	ATF PERMIT-INSTALL 404 SF CONCRETE SLAB UNDER EXISTING CHICKEE
PRBLD202201490	04/05/2023	Completed	\$75,500	Residential	20' X 12' IN GROUND POOL W/ 12" X 24" BOARDER
PRMCH202100996	07/29/2021	Completed	\$4,465	Residential	REPLACE A/C 1.5 TON 16 SEER
PRBLD202001271	06/15/2021	Completed	\$10,500	Residential	2 CHICKEE HUTS 9X36 AND 11X35
PRBLD202000124	02/26/2020	Completed	\$3,500	Residential	R/R 115 LF OF WOOD 6' HIGH FENCE, INSTALL 215 LF OF NEW 6' HIGH WOOD FENCING
PRRGF201700370	03/08/2017	Completed	\$5,000	Residential	R/R ROOF - (METAL)
20062473	11/01/2006	Completed	\$1		WOOD FENCE/20062474 RENEWAL OF EXPIRED PERMIT
2006575	03/16/2006	Completed	\$1		WOOD FENCE/PERMIT 20062474 RENEWAL OF THIS EXPIRED PERMIT
20052795	02/28/2006	Completed	\$1		ENCLOSE EXISTING PORCH
20051905	09/27/2005	Completed	\$1		INTERIOR REMODEL EXTERIOR PAINT/WINDOWS/DOORS

## View Tax Info

[View Taxes for this Parcel](#)

## Sketches (click to enlarge)



## Photos



## Map



## TRIM Notice



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# TERRA MAR INC BCHIEFTBAI

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Marathon, FL 33050  
305-766-9301  
hitect.terramar@gmail.com

www.terramararchitectural.com

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# Specifications

80951 Old Hwy  
Islamorada Fl 33036

E 200

NUMBER 6, 2023

# 2.0

AIR CONDITIONED	GA	GAUGE	RESIL	RESILIENT	1. ALL WORK SHALL COMPLY WITH CURRENT CODES AND REQUIREMENTS FOR ALL GOVERNING JURISDICTIONS AND AGENCIES REGARDLESS WHETHER WRITTEN HEREIN.
AMERICANS WITH DISABILITIES ACT	GALV	GALVAZED	RO	ROUGH OPENING	2. THESE PLANS ARE SOLELY FOR THE CONSTRUCTION OF THIS PROJECT AND MAY NOT BE USED OR MODIFIED WITHOUT THE WRITTEN APPROVAL OF TERRA MAR ARCHITECTURAL.
ADJ	GND	GROUND	ROW	RIGHT OF WAY	3. SHOP DRAWINGS OF TRUSSES AND ANY OTHER ENGINEERED SYSTEMS SHALL BEAR THE SEAL OF A REGISTERED FLORIDA ENGINEER AND SHALL BE SUBMITTED TO THE ARCHITECT AND JURIDATION OF AUTHORITY.
AFF	GR	GRADE	RTN	RETURN	4. CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL PROTECT UTILITIES, ADJACENT PROPERTIES AND WORK OF OTHERS.
AHU	GWB	GYPSUM WALL BOARD	S	SOUTH	5. ANY CONFLICTS OBSERVED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING.
ALUM	GYP	GYPSUM	SAN	SANITARY	6. CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS AND SPECIFICATIONS.
ALT	HB	HOSE BIBB	SC	SOLID CORE	7. GENERAL CONTRACTOR SHALL OBSERVE AND VERIFY ALL WORK BY SUBCONTRACTORS.
APPROX	HC	HOLLOW CORE	SCHED	SCHEDULE	8. THE CONTRACTOR SHALL DO THE WORK IN STRICT CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEVIATION SHALL BE RECORDED AND PROVIDED TO THE ARCHITECT AT THE TIME OF DISCOVERY. CONTRACTOR SHALL BEAR ALL COSTS TO REMEDY UNAPPROVED WORK.
ARCH	HDWD	HARDWOOD	SD	STORM DRAIN	9. BY COMMENCEMENT OF WORK CONTRACTOR ACKNOWLEDGES THAT ALL INFORMATION AS PERTAINING TO THIS PROJECT HAS BEEN REVIEWED AND ALL QUESTIONS HAVE BEEN RESOLVED TO THE CONTRACTORS SATISFACTION.
ASPH	HDWE	HARDWARE	SEAL	SEALANT	10. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF GEOTECHNICAL REPORT.
AUTO	HT	HEIGHT	SECT	SECTION	
BD	HM	HOLLOW METAL	SF	SQUARE FOOT	
BEL	HORIZ	HORIZONTAL	SHT	SHEET	
BET	HR	HOUR	SIM	SIMILAR	
BLDG	HTR	HEATER	SPEC	SPECIFICATION	
BM	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	SQ	SQUARE	
BOTT	HWH	HOT WATER HEATER	SS	STAINLESS STEEL	
BRG	INCL	INCLUDNG	STC	SOUND TRANSMISSION	
CB	ID	INSIDE DIAMETER	STD	STANDARD	
CEM	IN	INCH	STL	STEEL	
CER	INSUL	INSULATION	STOR	STORAGE	
CFCI	CONTRACTOR FURNISHED	INT	STRUCT	STRUCTURAL	
CI	CONTRACTOR INSTALLED	JAN	SUSP	SUSPENDED	
CJ	CAST IRON	JT	SW	SWITCH	
CLG	CONTROL JOINT	KD	SYM	SYMMETRICAL	
CLR	CEILING	KO	SYS	SYSTEM	
CMU	CLEAR	L	TEL	TELEPHONE	
COL	CONCRETE MASONRY UNIT	LAM	TEMP	TEMPERED	
COND	COLUMN	LAV	T&B	TOP AND BOTTOM	
CONSTR	CONDUIT	LB	T&G	TONGUE AND GROOVE	
CONT	CONSTRUCTION	LDR	THRES	THRESHOLD	
CPT	CONTINUOUS	LONG	THK	THICK	
CTN	CARPET	LP	TOB	TOP OF BEAM	
CNTR	COUNTERSUNK	LVR	TOC	TOP OF CURB	
CT	COUNTER	LW	TOS	TOP OF STEEL	
CTR	CERAMIC TILE	MAS	TOW	TOP OF WALL	
CU	CENTER	MAX	TOIL	TOILET	
CW	CUBIC	MBR	TR	TREAD	
DBL	COLD WATER	MECH	TYP	TYPICAL	
DEPT	DOUBLE	MEMB	UL	UNDERWRITERS LABORATORY	
DET	DEPARTMENT	MEZZ	UNO	UNLESS NOTED OTHERWISE	
DIA	DETAIL	MFR	VENT	VENTILATION	
DIAG	DIAMETER	MH	VERT	VERTICAL	
DIM	DIAGONAL	MIN	VOL	VOLUME	
DISP	DIMENSION	MISC	VTR	VENT THRU ROOF	
DN	DISPENSER	MLD	W	WEST OR WIDE	
DR	DOWN	MO	W/	WITH	
DS	DOOR	MOD	WC	WATER CLOSET	
D/W	DOWNSPOUT	MOV	WIN	WINDOW	
DWG	DISHWASHER	MTD	WO	WINDOW OPENING	
E	DRAWING	MULL	W/O	WITHOUT	
EA	EAST	N	WP	WATERPROOF	
EJ	EACH	NIC	WSCT	WAIRNSCOT	
EL	EXPANSION JOINT	NO	WT	WEIGHT	
ELEC	ELEVATION	NOM	WWF	WELDED WIRE FABRIC	
ELEV	ELECTRICAL	NM			
EMER	ELEVATOR	NTS			
ENCL	EMERGENCY	OA			
ENTR	ENCLOSURE	OBS			
EO	ENTRANCE	OC			
EQ	EVERY OTHER	OD			
EW	EQUAL	OFF			
EXIST	EACH WAY	OFCI			
EXH	EXISTING	OFOI			
EXP	EXHAUST	OWNER FURNISHED			
EXT	EXPANSION	CONTRACTOR INSTALLED			
EW	EXTERIOR	OWNER FURNISHED			
FA	EACH WAY	OWNER INSTALLED			
FBC	FIRE ALARM	OPNG			
FD	FLORIDA BUILDING CODE	OPNG			
FDN	FLOOR DRAIN	OPNG			
FEC	FOUNDATION	OPNG			
FIN	FIRE EXTINGUISHER CABINET	PLAM			
FLASH	FINSHISHED (SUFACE)	PLAS			
FLEX	FLASHING	PLF			
FLUOR	FLEXIBLE	PLUMB			
FOC	FLUORESCENT	PLYWD			
FOF	FACE OF CONCRETE	PLYWD			
FOM	FACE OF FINISH	PTD			
FOS	FACE OF MASONRY	PSF			
FS	FACE OF STUD/ STRUCTURE	PSI			
FT	FULL SIZE	PVC			
FTG	FEET	PVMNT			
	FOOTING	RA			
		RAD			
		RD			
		REC			
		REF			
		REG			
		REINF			
		REQ			
		REQUIRED			

**N 04 MASONRY**

**N 04220 CONCRETE MASONRY UNITS**

**GENERAL**

**MMARY**

This Pertains to Manufactured Concrete Masonry Units, including, but not limited Standard Concrete Masonry Units, Ground Face Concrete Masonry Units, Exposed Face Concrete Masonry Units, Fluted Concrete Masonry Units, Interlocking Concrete Masonry Units, Sound-Absorbing Concrete Units, and Split-Face Concrete Masonry Units.

**SECTION INCLUDES**

Manufactured Concrete Masonry Units; both loadbearing and nonloadbearing and designed for use in unit masonry assemblies.

**PRODUCTS SUPPLIED BUT NOT INSTALLED IN THIS SECTION**

Manufactured Concrete Masonry Units.

**RELATED SECTIONS**

N 04050 - Basic Masonry Materials and Methods.

N 04060 - Masonry Mortar.

N 04090 - Masonry Accessories; Control Joint Materials, Embedded Flashing, Joint Materials, Weep Holes.

N 04910 - Masonry Restoration and Cleaning.

**UNIT PRICES**

per-unit or per Bid Form.

**MEASUREMENT PROCEDURES**

Concrete Masonry Unit.

**REFERENCES**

N C33 - Standard Specifications for Concrete Aggregates

N C90 - Standard Specification for Loadbearing Concrete Masonry Units.

N C129 - Standard Specification for Nonloadbearing Concrete Masonry Units.

N C140 - Sampling and Testing Concrete Masonry Units and Related Units.

N C270 - Standard Specification for Mortar for Unit Masonry.

N C331 - Lightweight Aggregates for Concrete Masonry Units.

N C426 - Linear Drying Shrinkage of Concrete Masonry Units.

N C476 - Standard Specification for Grout for Masonry.

C1209 - Terminology of Concrete Masonry Units and Related Units.

C1232 - Terminology of Masonry.

E 514 - Water Penetration and Leakage Through Masonry.

30-95/ASCE 5-95/TMS 402-95 - Building Code Requirements for Masonry Structures.

530.1-95/ASCE 6-95/TMS 602-95 - Specification for Masonry Structures.

National Concrete Masonry Association (NCMA) Concrete Masonry Shapes and Sizes Manual.

National Concrete Masonry Association (NCMA) TEK Manual for Concrete Masonry Design and Construction.

**CERTIFICATIONS**

Complies with ASTM C33 - Standard Specification for Concrete Aggregates.

Complies with ASTM C90 - Loadbearing Concrete Masonry Units, as applicable.

Complies with ASTM C129 - Nonloadbearing Concrete Masonry Units, as applicable.

Complies with ASTM C331 - Lightweight Aggregates for Concrete Masonry Units, as applicable.

Complies to National Concrete Masonry Association (NCMA) Shapes and Sizes Manual, as applicable.

**STORAGE AND PROTECTION**

Units shall be stored on level ground in single stacks only.

Upon delivery, site manager shall cover pallets with waterproof material as protection from inclement weather; provide ventilation to avoid condensation.

**WARRANTY**

Units shall be free from defects in materials for 1 year from date of shipment.

N C90, 8.1, 8.2 and 8.2.1, Finish and Appearance, applies.

Accept shipment for unit defects upon delivery. Defects shall be immediately reported to manufacturer.

**PRODUCTS**

**MANUFACTURER**

Other Florida Plant or Equal

**MATERIALS**

Natural Standard Concrete Masonry Units, Exposed Aggregate Concrete Masonry Units, Ground Face Concrete Masonry Units, Fluted Concrete Masonry Units, Interlocking Concrete Masonry Units, Sound-Absorbing Concrete Masonry Units, Split-Face Concrete Masonry Units, as required.

**GENERAL**

Unless otherwise indicated or specified, concrete masonry units shall be standard units with nominal face dimensions of 16 inch length x 8 inch height (15 1/2 x 7 5/8 actual) x width indicated.

"", 4", 6", 8", 10" and 12" nominal widths are available.

Ground Face Concrete Masonry Units shall be approximately 1/8" less than NCMA actual width due to ground face surface.

Grade, or cut, all related matching accessory shapes and sizes as required for corners, jambs, sills, control joints, headers, bonding, and other special conditions.

Cut all cuts with motorized masonry saw, using abrasive or diamond blade.

Special units shall match color and texture of standard units.

Units are placed so end of a unit is exposed, such as at corners or recesses, the exposed end of that block shall have a surface that matches color and texture of the other units.

Grade units with normal weight aggregate conforming to ASTM C33 or light aggregate conforming to ASTM C331, as required.

Normal weight aggregate shall be #10 architectural screened aggregate.

Keep all units in a moisture-controlled atmosphere to conform to ASTM C90.

N C90, Standard Specification for Loadbearing Concrete Masonry Units, applies as required.

N C129, Standard Specification for Nonloadbearing Concrete Masonry Units, shall apply as required.

**ACCESSORIES**

**MORTAR**

Comply with ASTM C270, Standard Specification for Mortar for Unit Masonry. Mortar shall be type S.

Mortar for masonry mortar shall be clean and free of oils, acids, alkalis, salts, organic materials, or other substances that are harmful to mortar or any metal in contact with it.

Admixtures containing chlorides accelerate corrosion of steel reinforcing, ferrous ties and anchors, metal doors, and window frames. Chloride containing admixtures are, therefore, not permitted.

Aggregates for mortar must comply with ASTM C144, Standard Specification for Aggregates for Masonry Mortar. Mortar shall contain integral water repellent admixture, Rheomix Rheopel™ by Builders, Inc., Cleveland, Ohio or equal.

**GROUT**

Comply with ASTM C476, Standard Specification for Grout for Masonry.

Mortar for grout shall be clean and potable.

Textures shall comply with ASTM C476, 3.1.5.

**CONSTRUCTION TOLERANCES**

Comply with ASTM C90, Standard Specification for Loadbearing Concrete Masonry Units, Article 7, Permissible Variations in Dimensions.

**FINISHES**

**SOURCE QUALITY CONTROL**

Results in accordance with ASTM C140, Standard Test Methods for Sampling and Testing Concrete Masonry Units and Related Units, shall be available upon request from the manufacturer.

**EXECUTION**

Foundation must be level and clean, free of ice, dirt, oil, mud, and other substances.

**INSTALLATION**

Installers shall be experienced masons using best masonry practices.

Walls shall be plumb and true, with courses level, accurately spaced and coordinated with other work. Units from more than one pallet at a time.

Build only quality units. Reject defective or damaged units.

As work progresses, build in all metal doorframes, window sashes, louvers, conduit, pipe, panel boards, and other required. Build in openings and recesses as required for work of other trades.

Properly brace masonry walls that may be exposed to wind loads or other conditions that could affect stability.

Install weep holes, vents, flashing at locations as indicated on plans and in strict accordance with best masonry practices.

Temperatures between 40 and 90° F (4.4 and 32.3° C) are considered "normal" temperatures for masonry construction and do not require special procedures or weather protection protocols. When ambient temperatures fall below 40° F (4.4° C) or above 90° F (32.3° C), special construction procedures shall be considered to ensure the final construction is not adversely affected.

Protect newly constructed walls by draping weather coverings over wall and

## DIVISION 05 METALS

### CFCI 05 12 00 STRUCTURAL STEEL

ALL STRUCTURAL STEEL MEMBERS TO BE HOT DIPPED GALVANIZED. CONTRACTOR TO SUBMIT STEEL SHOP DRAWINGS TO OWNER & ARCHITECT PRIOR TO ORDERING. STEEL COLUMNS AT INTERIOR SHALL BE CLAD W/ 5/8" GYPSUM BD.

### CFCI 05 40 00 COLD FORMED METAL JOIST FRAMING

ALL LOAD BEARING METAL FRAMED PARTITIONS SHALL BE 16GA, HOT DIPPED GALVANIZED, AS MANUF. BY MARINOWARE. Install per manufacturer requirements.

MARINOWARE

1-800-627-4661

[www.marinoware.com](http://www.marinoware.com)

## DIVISION 06 WOOD

ALL CONCEALED WOOD FRAMING LUMBER SHALL BE EQUIVALENT TO SOUTHERN PINE #2 WITH A MINIMUM FIBER STRESS OF 1400 PSI.

ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR OTHERWISE PROTECTED BY AN APPROVED SEPARATING MATERIAL.

### 06 0530 - WOOD SHEATHING

EXTERIOR WALL AND ROOF SHEATHING SHALL BE NEW STRUCTURAL 1 EXTERIOR. INSTALL PER MANUFACTURER REQUIREMENTS AND PER FLORIDA BUILDING CODE.

### CFCI 06 17 60 PREFABRICATED WOOD TRUSS

TRUSS MANUFACTURER SHALL BE: DECO TRUSS COMPANY, INC.

13980 SW 252 STREET

PRINCETON, FLORIDA 33032

TEL: 305-257-1910 FAX: 305-257-1911

1. PREPARE THE TRUSS DESIGN DRAWINGS IN CONFORMANCE WITH THE REQUIREMENTS SET FORTH IN THE LATEST APPROVED EDITION OF THE ANSI/TPI 1 - 1995 "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION."
2. FOR EACH TRUSS DESIGN DRAWING, SET FORTH AS A MINIMUM THE FOLLOWING :
  3. SLOPE OR DEPTH, SPAN AND SPACING;
  4. LOCATION OF ALL JOINTS;
  5. REQUIRED BEARING WIDTHS;
  6. DESIGN LOADS AS APPLICABLE;
  7. TOP CHORD LIVE LOAD
  8. TOP CHORD DEAD LOAD;
  9. BOTTOM CHORD LIVE LOAD;
  10. BOTTOM CHORD DEAD LOAD;
  11. CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION; AND
  12. CONTROLLING WIND LOADS;
13. ADJUSTMENTS TO LUMBER AND METAL CONNECTOR PLATE DESIGN VALUES FOR CONDITIONS OF USE;
14. EACH REACTION FORCE AND DIRECTION;
15. METAL CONNECTOR PLATE TYPE, SIZE, THICKNESS OR GAGE, AND THE DIMENSIONAL LOCATION OF EACH METAL CONNECTOR PLATE EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERFACE.
16. LUMBER SIZE, SPECIES, AND GRADE FOR EACH MEMBER;
17. CONNECTION REQUIREMENTS FOR :(A) TRUSS TO TRUSS GIRDER; (B) TRUSS PLY TO PLY; AND (C) FIELD SPLICES;
18. CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DEFLECTION FOR LIVE AND TOTAL LOAD;
19. MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS TO ENABLE THE BUILDING DESIGNER TO DESIGN THE SIZE, CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DESIGN DRAWING
20. REQUIRED PERMANENT TRUSS MEMBER BRACING LOCATION AND SIZING.

### CFCI 06 45 00 WOOD TRIM STANDING & RUNNING

BASEBOARD AND TRIM SHALL BE AS SELECTED BY OWNER

## ABBREVIATIONS

## REQUIREMENTS



**TERRA MAR  
ARCHITECTURAL INC.**

11270 6th Ave Gulf  
Marathon, FL 33050  
architect.terraimar@gmail.com  
www.terramararchitectural.com

## Specifications

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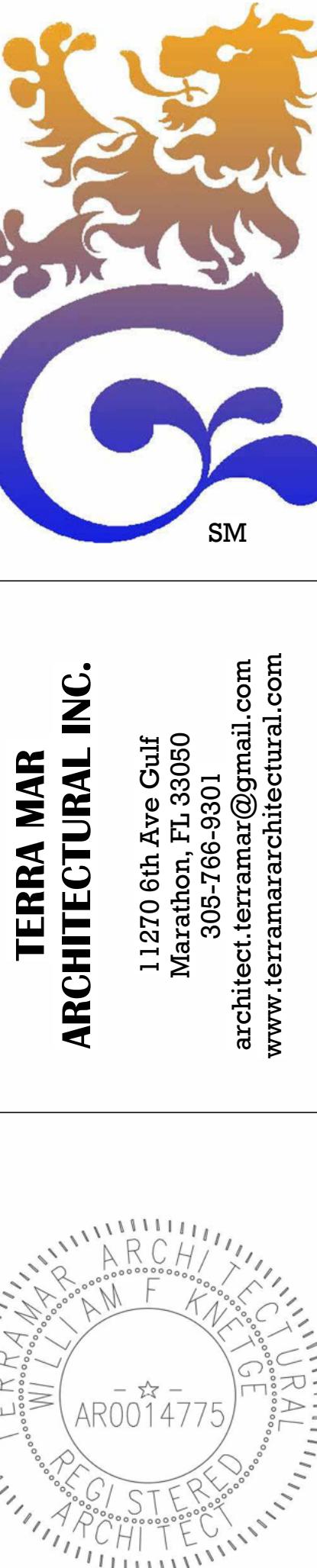
NOVEMBER 6, 2023

0096200-000000

**T3.0**

REV 050125: LOWERED FLOOR ELEVATION BELOW DFE

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## Site Plan

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### STORM WATER CALCULATION

#### Previously Improved Site

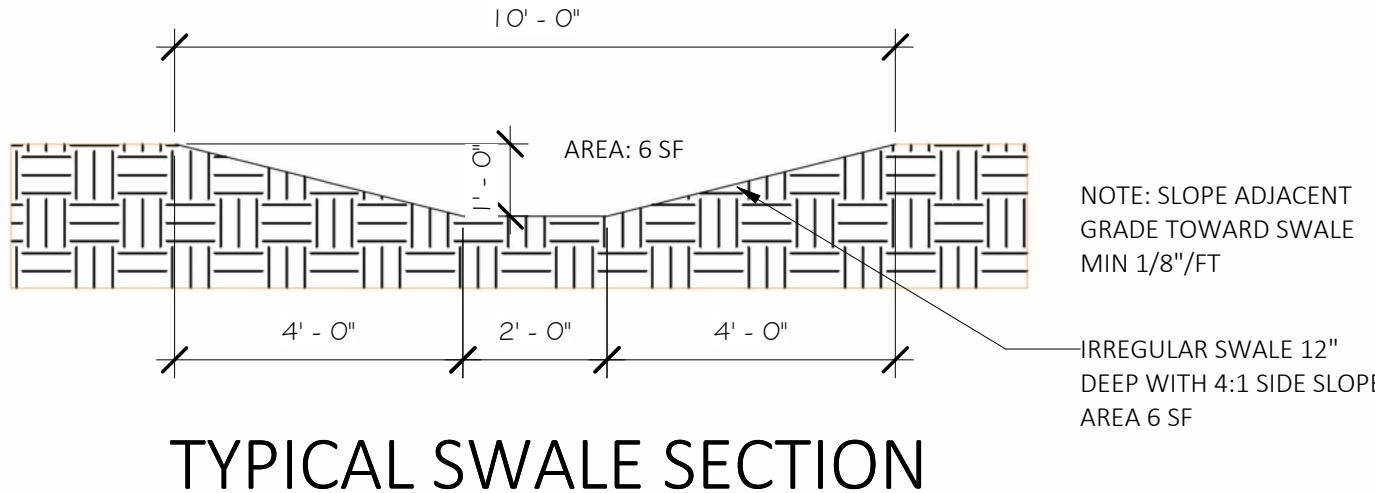
(I) New Impervious Area 1,258 ft<sup>2</sup>

(J) Rainfall = 1.25"

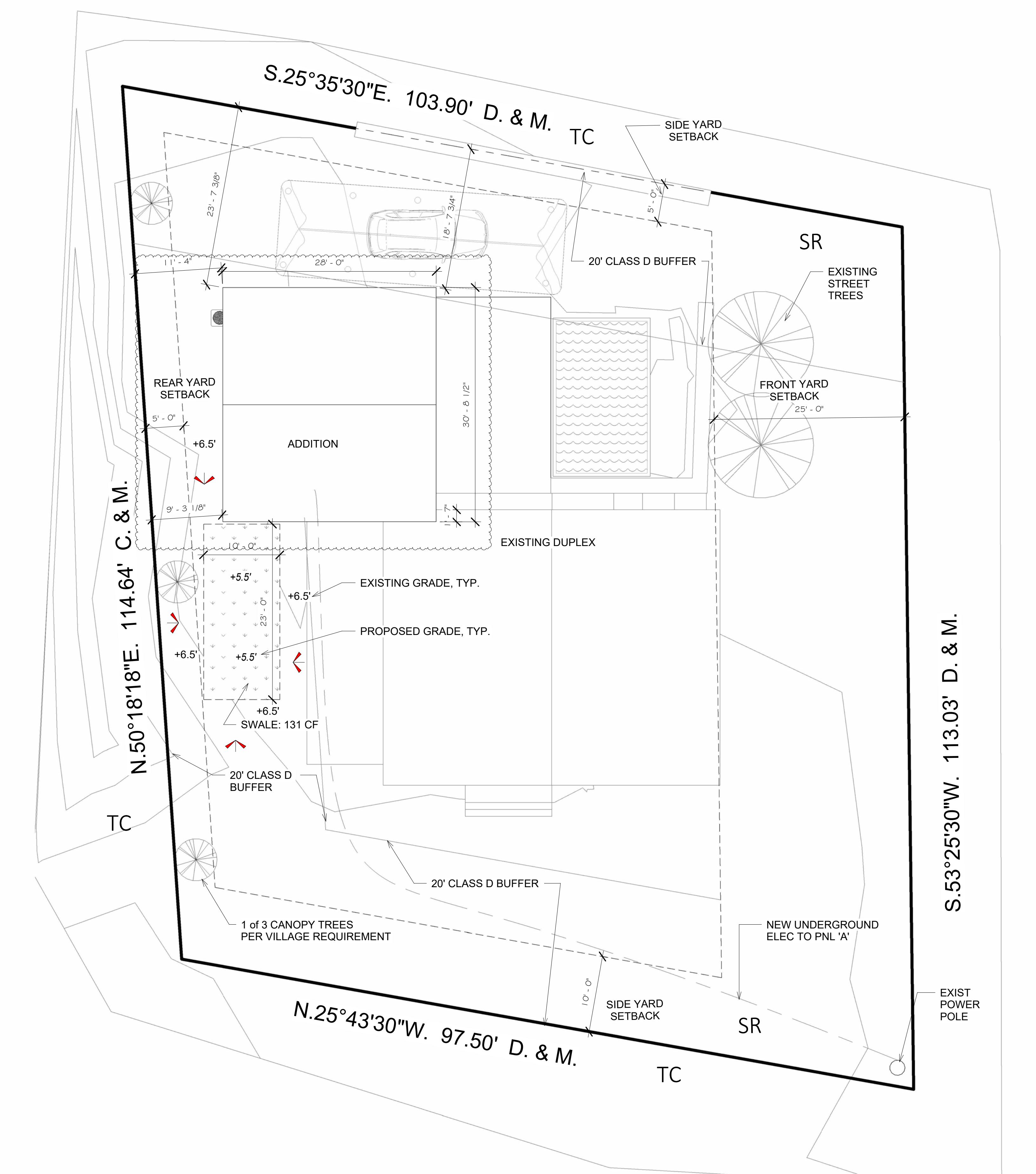
(K) Cubic Feet Required = Impervious Area x Rainfall =  $\frac{I \times J}{12} = \frac{131}{12}$  ft<sup>3</sup>

SWALE: 131 CF / 6 SF = 22 LF REQ'D

23 LF PROVIDED



**STORM WATER NOTES:**  
1. SLOPE ALL GRADE MINIMUM 1/8 " / FT TOWARD YARD DRAINS AND AWAY FROM SHORELINE. SEE ARROW DIRECTION ON PLAN.  
2. NO FILL PROPOSED THIS PROJECT; ONLY FILL FROM SWALES.  
3. SEE SURVEY FOR EXISTING GRADES.  
4. SWALES SHALL BE PLANTED WITH SOD.  
5. GRADES SHOWN ARE PROPOSED; SEE SURVEY FOR EXISTING GRADES.



**SITE DATA**  
TOTAL LAND AREA: 11,180 SF

NEW STRUCTURE TO DRIPLINE: 859 SF  
NEW DECK: 541 SF

EXIST STRUCTURE TO DRIPLINE: 1,594 SF  
EXIST DECK, POOL, STEPS: 942 SF

TOTAL IMPERVIOUS AREA: 3,794 SF  
34% COVERAGE; OPEN AREA 66%

**SITE PLAN NOTES:**  
1. NO MODIFICATIONS TO EXISTING VEGETATION.  
2. SEE DEMOLITION PLAN FOR AREAS TO BE REMOVED.  
3. ELECTRICAL LOCATED BELOW FLOOD LEVEL SHALL BE SUBMERSIBLE PUMP CABLE W/ SOLID COPPER WIRE; CONDUIT SHALL BE NM WITH ONE SIZE INCREASE TO ALLOW FUTURE VACUUM.  
4. ALL BELOW FLOOD ELECTRICAL SHALL BE ON ONE CIRCUIT W/ DISCONNECT LOCATED ABOVE FLOOD ELEVATION.



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# Site & 1st Floor Plan

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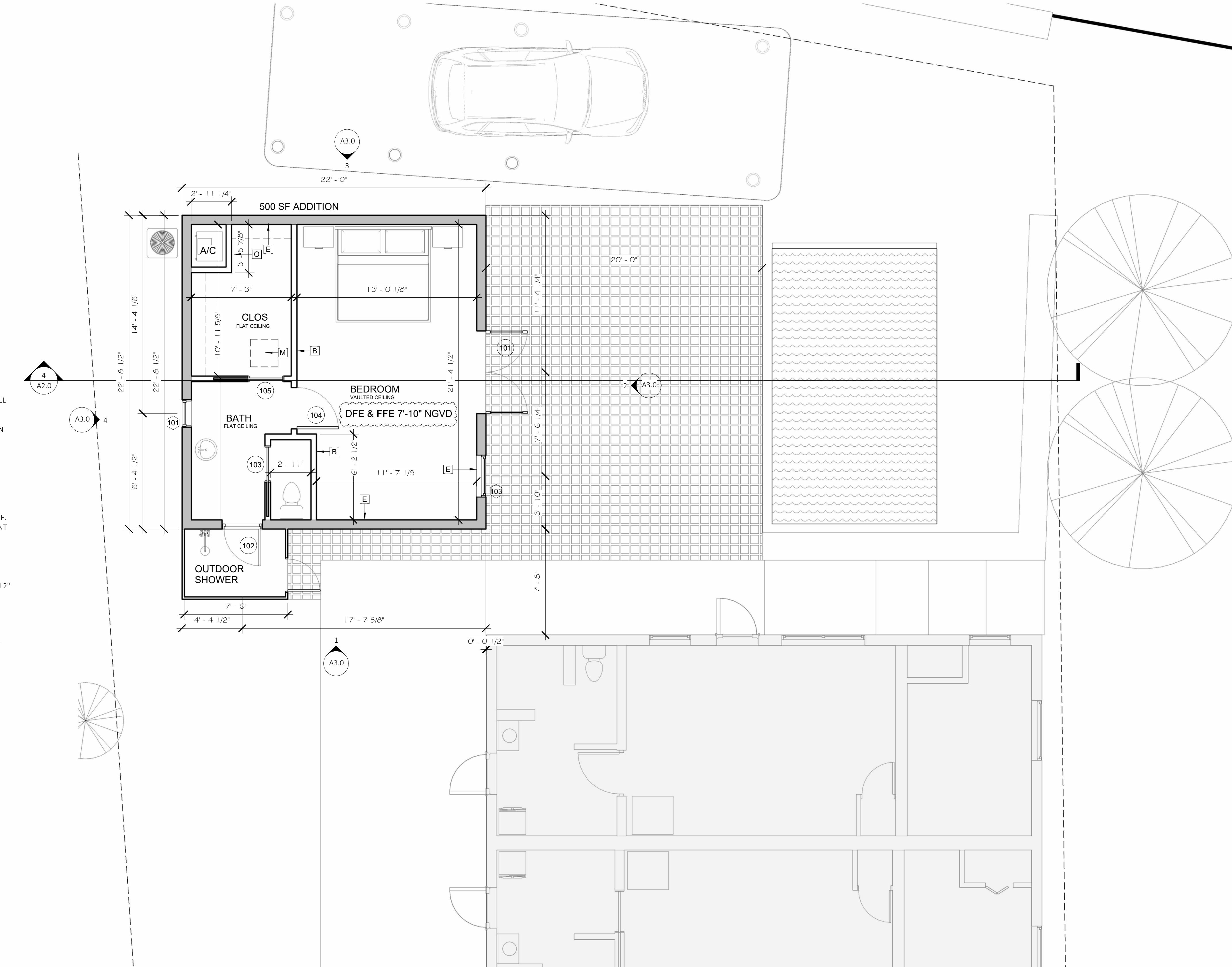
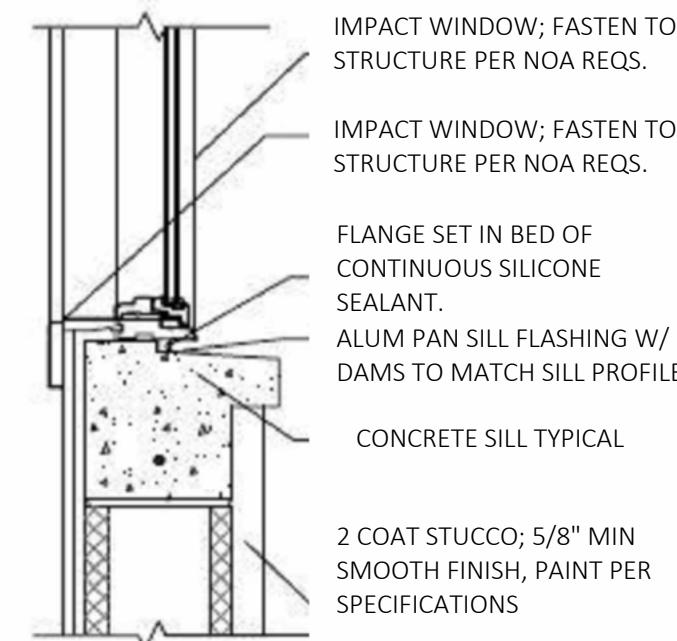
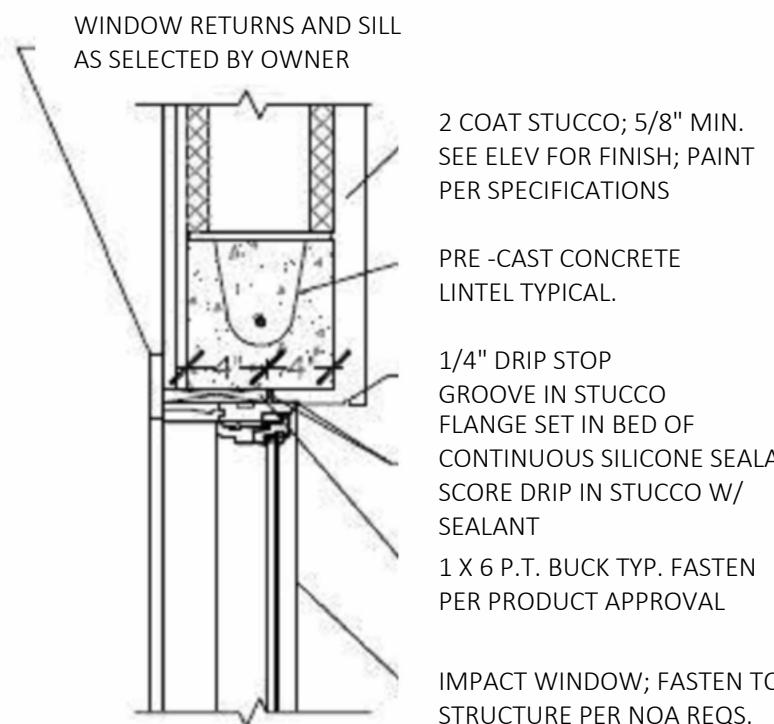
**A1.0**

## GENERAL ARCHITECTURAL NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
3. ALL WORK SHALL BE PLUMB AND LEVEL (WITHIN 1/4" BUBBLE) UNLESS NOTED OTHERWISE. ALL MITER JOINTS SHALL BE FREE OF GAPS AND VOIDS.
4. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
6. FINISHES SHALL BE SELECTED BY OWNER UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL COORDINATE FLOORING AND STAIR HEIGHTS WITH OWNERS FINISH SELECTION.

## WINDOW AND DOOR NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES
3. ALL WORK SHALL BE PLUMB AND LEVEL (WITHIN 1/4" BUBBLE) UNLESS NOTED OTHERWISE. ALL MITER JOINTS SHALL BE FREE OF GAPS AND VOIDS.
4. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
5. INSTALL WINDOWS AND DOORS PER MANUFACTURERS REQUIREMENTS.
6. ALL OPENINGS SHALL RECEIVE PAINTABLE SILICONE PRIOR TO START OF WORK.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
8. PROVIDE LATICRETE HYDROBAN MEMBRANE AROUND ALL WINDOWS AND DOORS PER MANUFACTURER REQUIREMENTS. ENSURE COMPLETE SEAL WITH SILICONE SEALANT AROUND PERIMETER AT JOINT BETWEEN PRODUCT AND STUCCO.
9. FINISHES SHALL BE SELECTED BY OWNER UNLESS OTHERWISE NOTED.
10. WINDOW SIZES SHOWN ARE BASED ON EXISTING OPENINGS. SELECT CLOSEST STANDARD WINDOW SIZES OFFERED BY MANUFACTURER. NOTIFY ARCHITECT IF SIZES DIFFER MORE THAN 2".
11. ALL WINDOWS AND DOORS SHALL BE SINGLE LITE. NO MUTTONS.
12. OWNER SHALL SELECT COLORS, WINDOW TINT AND FINISH OF ALL WINDOWS AND DOORS.
13. WINDOWS AND DOOR SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE SHALL MATCH ENERGY CALCULATIONS.



## FIRST FLOOR

A1.0 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE										
Mark	Type	Manufacturer / Model	Dimensions			Material	Glazing	Notes	Test Pressure PSF	Design Pressure
			Width	Height	Thickness					
101	DBL FRENCH	MR GLASS	6'-0"	8'-0"	0'-2"	ALUM	IMPACT	EGRESS	+80/-80 +46/-50.4	
102	FRENCH	MR GLASS	2'-10"	8'-0 3/4"	0'-1 29/32"	ALUM	IMPACT		+80/-80 +48.5/-54.5	
103	INT-POCKET	TBD	2'-6"	8'-0"	0'-1 3/8"	WD				
104	SWING	TBD	3'-0"	8'-0"	0'-2"	WD				
105	INT-POCKET	TBD	2'-6"	8'-0"	0'-1 3/8"	WD				

WINDOW SCHEDULE										
Mark	Manufacturer	WINDOW TYPE	Material	Width	Height	Sill Height	Comments	Test Pressure PSF	Design Pressure PSF	
101	MR GLASS	CSMT	ALUMINUM	2'-0"	3'-0"	6'-0"			+80/-100 +51.2/-55.4	
103	MR GLASS	SINGLE-HUNG	ALUMINUM	3'-0"	4'-0"	4'-0"			+80/-140 +50.7/-61.2	

Key Value	Keynote Text
B	2 X 4 @ 16" O.C. STUD WALL WITH 5/8" GYP BD BOTH SIDES. UL-U305 (1 HR) OR R302.6
E	8" THK CMU WALL, INTERIOR: 1 X 2 PT FURR STRIPS, 3/4" INSUL BD, 5/8" GYP BD, PAINT. EXTERIOR: 5/8" MIN STUCCO, PAINT
M	22" x 24" ATTIC ACCESS PANEL
O	PROVIDE ACCESS PANEL TO HVAC EQUIPMENT

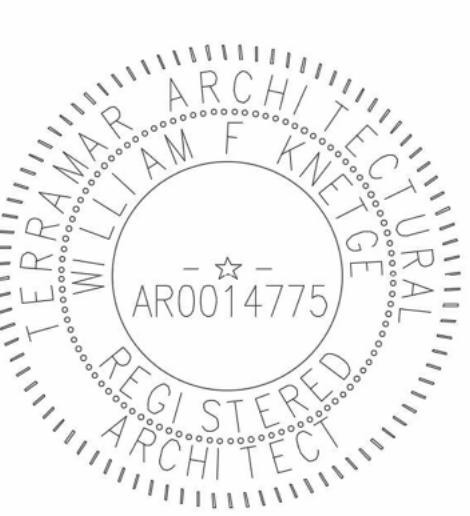
## WINDOW DETAILS

A1.0 SCALE: NOT TO SCALE



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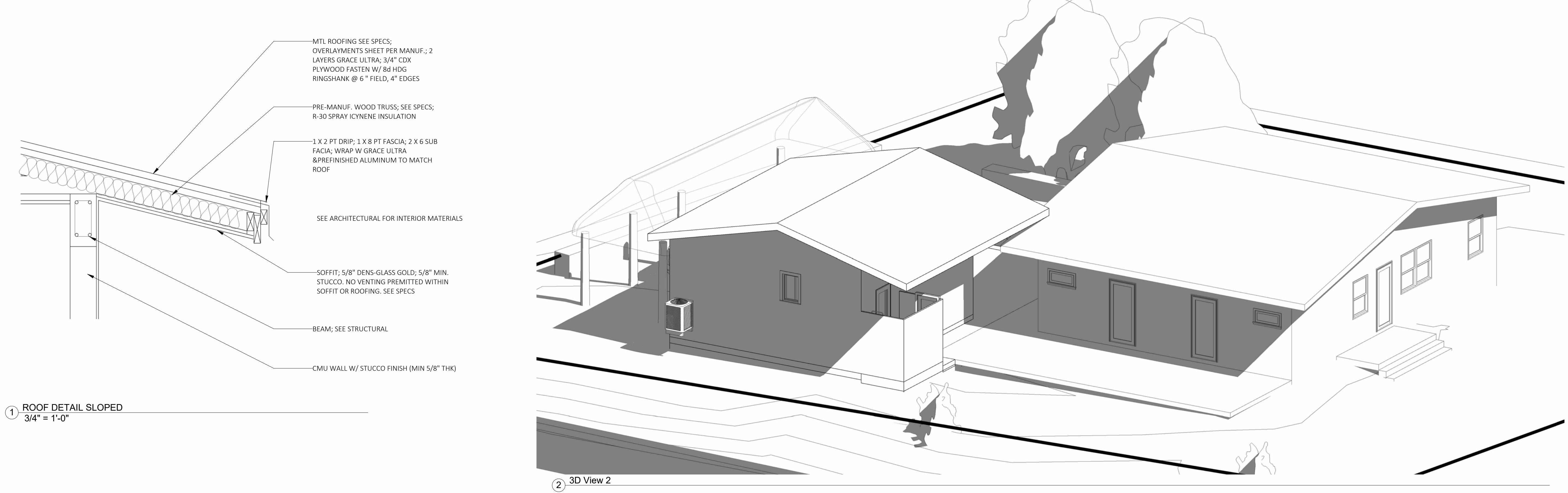
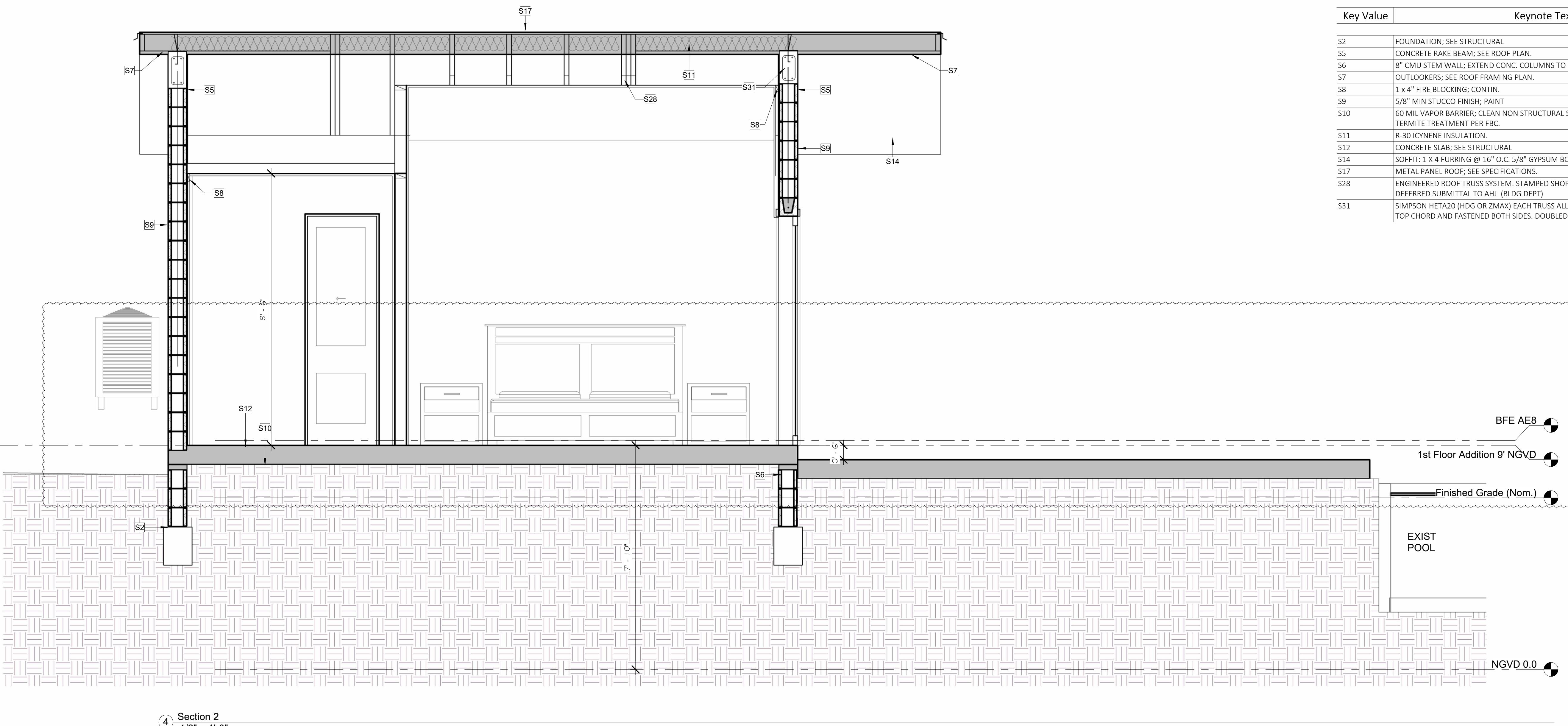
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## Section

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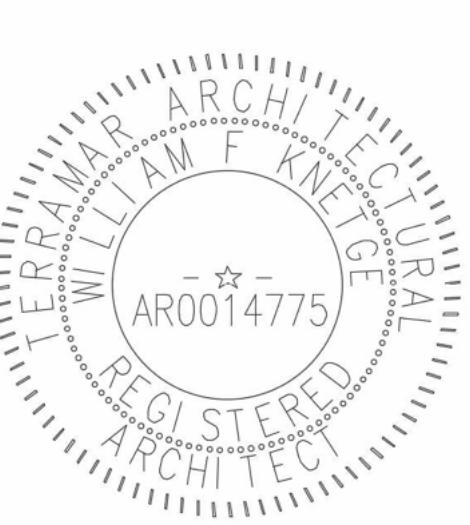
# A2.0





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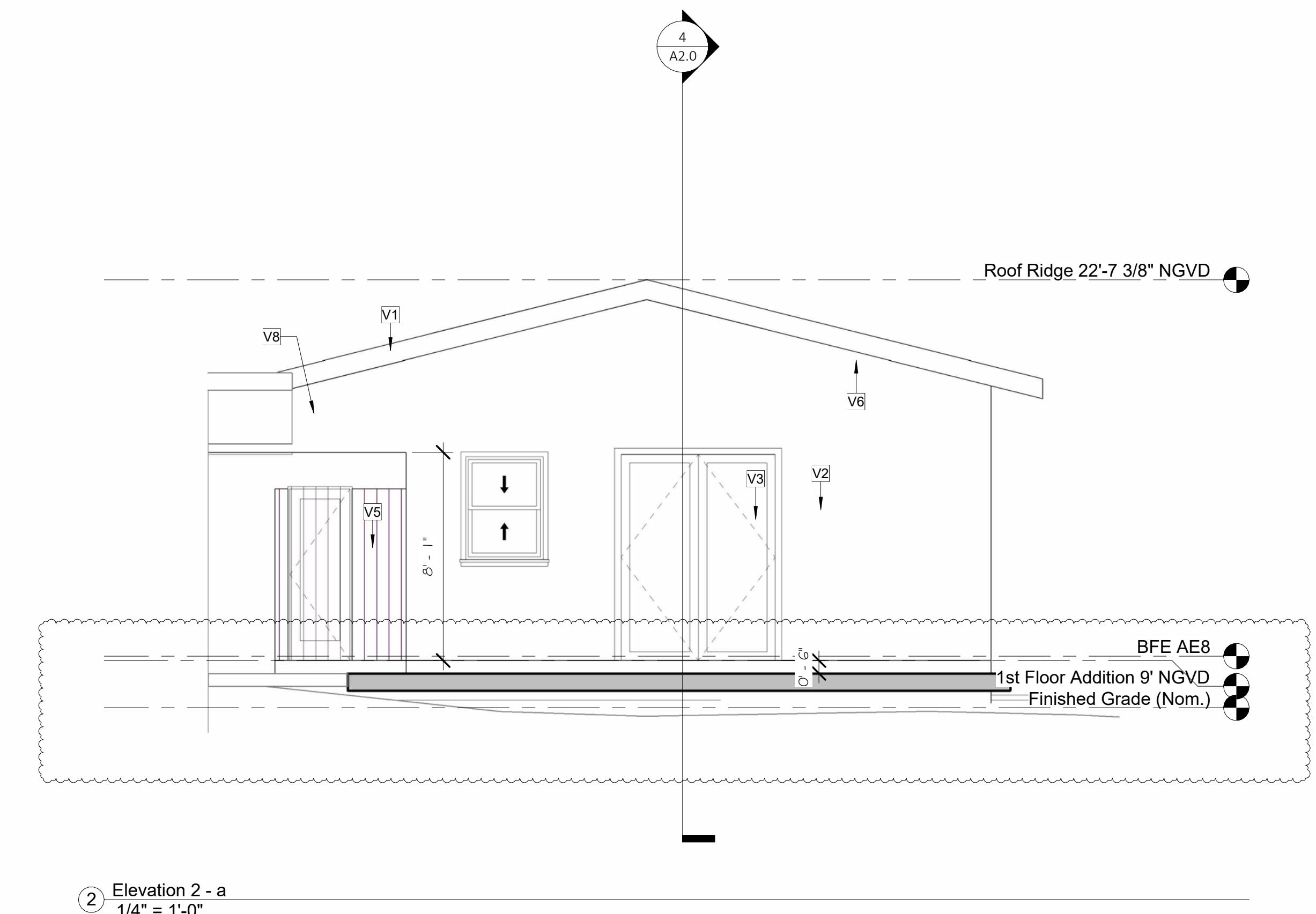
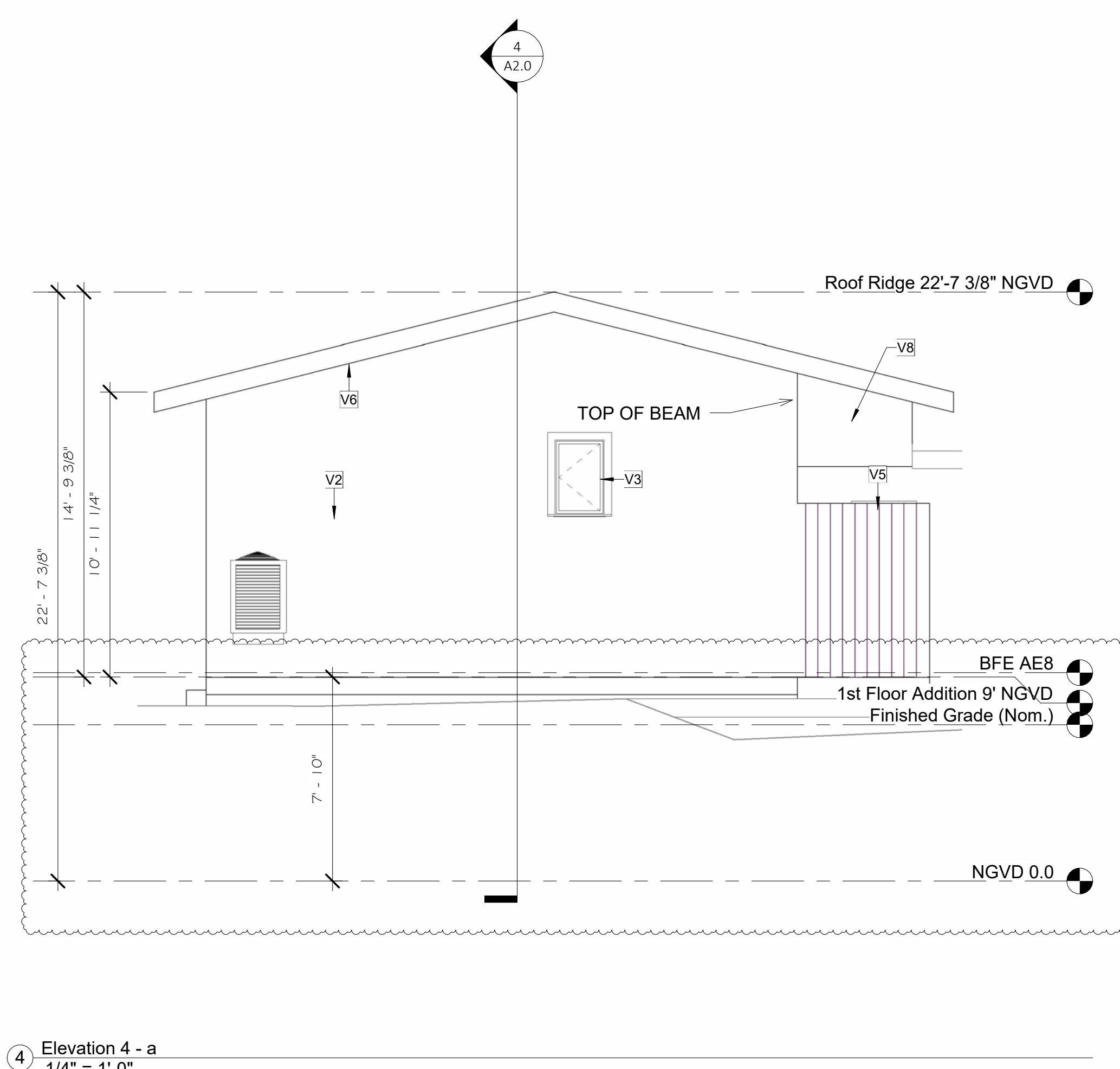
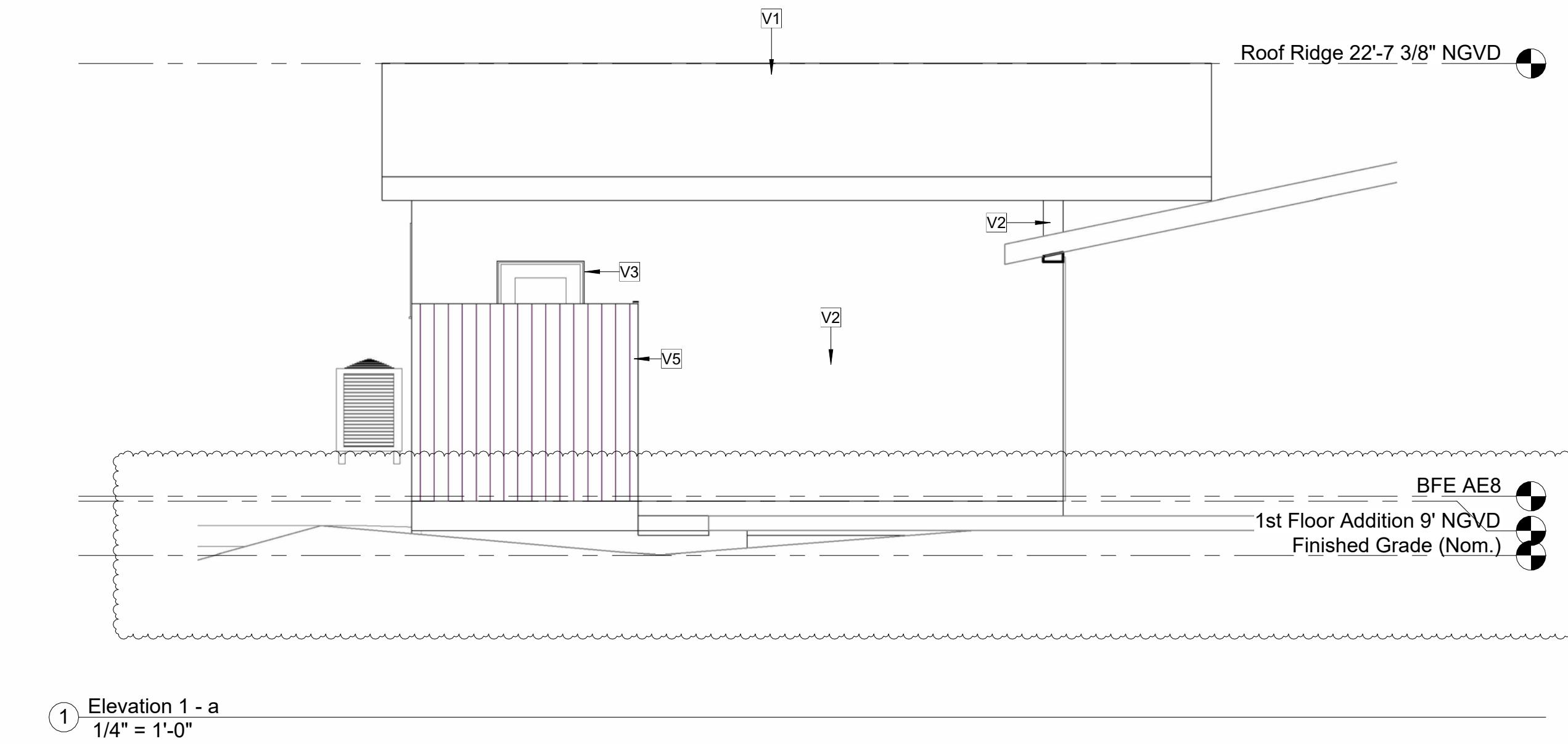
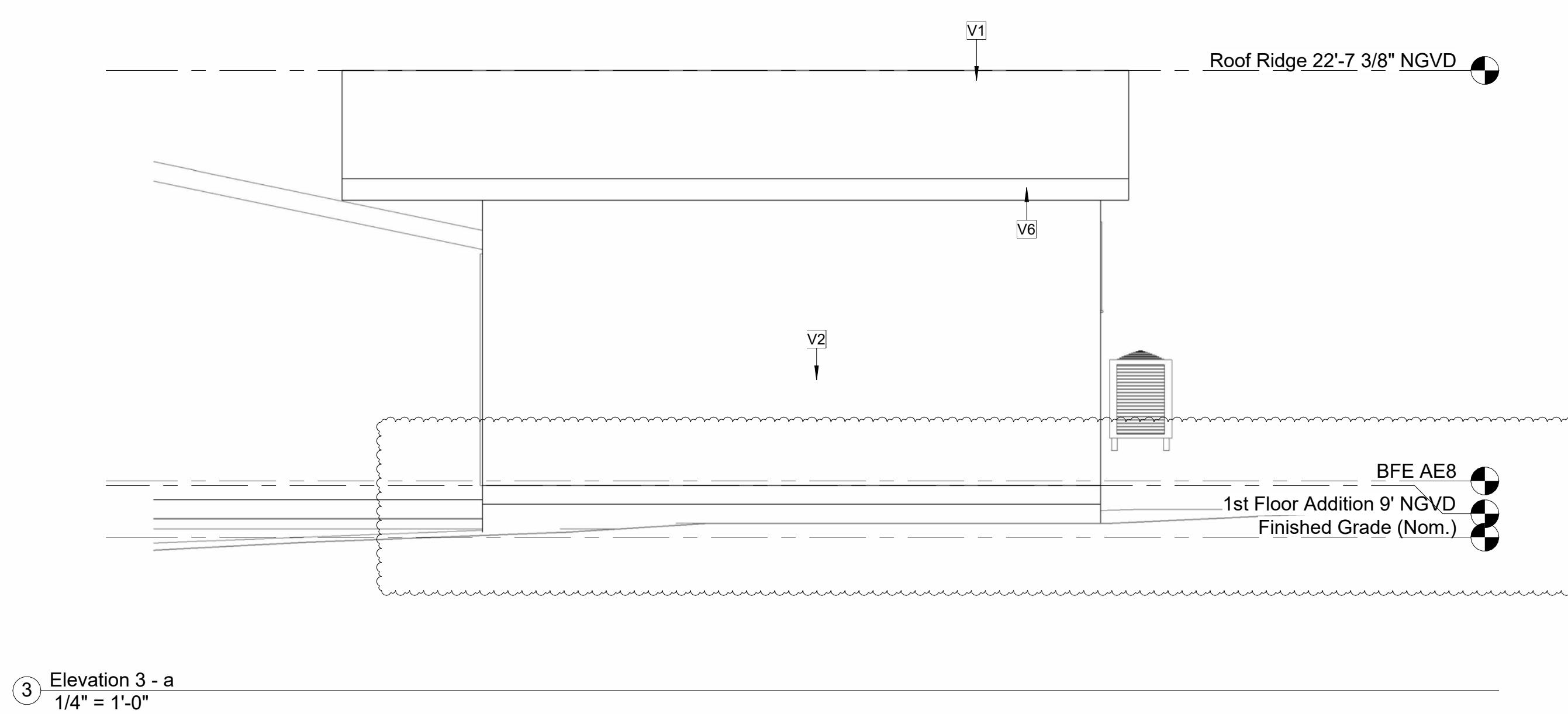


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## Exterior Elevations

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Key Value	Keynote Text
V1	METAL ROOFING; COLOR SELECTED BY OWNER.
V2	STUCCO 2 COAT FINISH, MIN 5/8" THK; PAINT.
V3	IMPACT WINDOW/ DOOR.
V5	VINYL FENCE BY OTHERS.
V6	FASCIA WRAP W/ PREFINISHED ALUM TO MATCH ROOFING.
V8	3/4" CDX PLYWD; 8d @ 4" O.C. (2) LAYERS GRACE ULTRA; METAL LATHE; 5/8" STUCCO PAINT.

NOVEMBER 6, 2023

0096200-000000

A3.0



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# Foundation Plan

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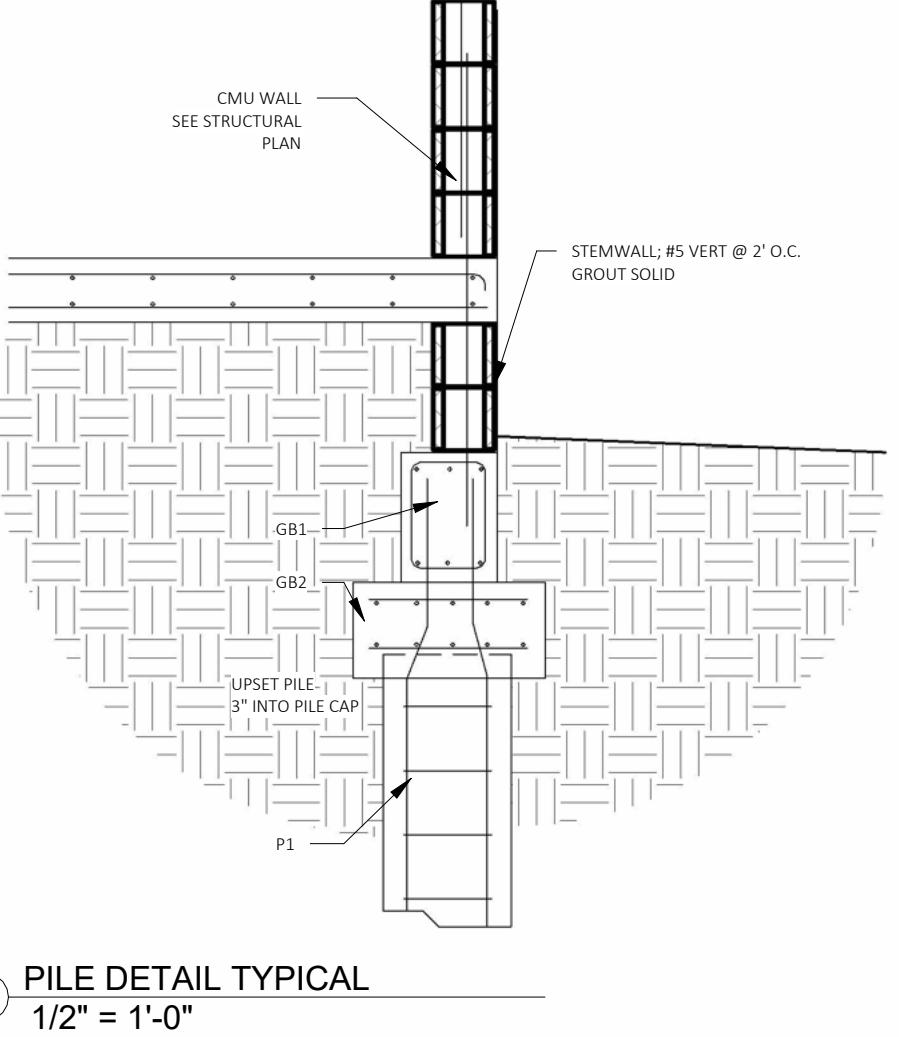
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**S1.0**

REV 050125: LOWERED FLOOR ELEVATION BELOW DFE

1/4" = 1'-0"

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(2) PILE DETAIL TYPICAL  
1/2" = 1'-0"

## STRUCTURAL DESIGN DATA

Floor & Roof Live Loads		( R-3 • Single-Family Dwellings )
Attics:	20 psf w/ storage, 10 psf w/o storage	
Habitable Attics, Bedroom:	30 psf	
All Other Rooms:	40 psf	
Garage:	40 psf	
Roofs:	20 psf	
(Balcony and Deck live loads are 150% of the adjacent space served.)		

### Wind Design Data

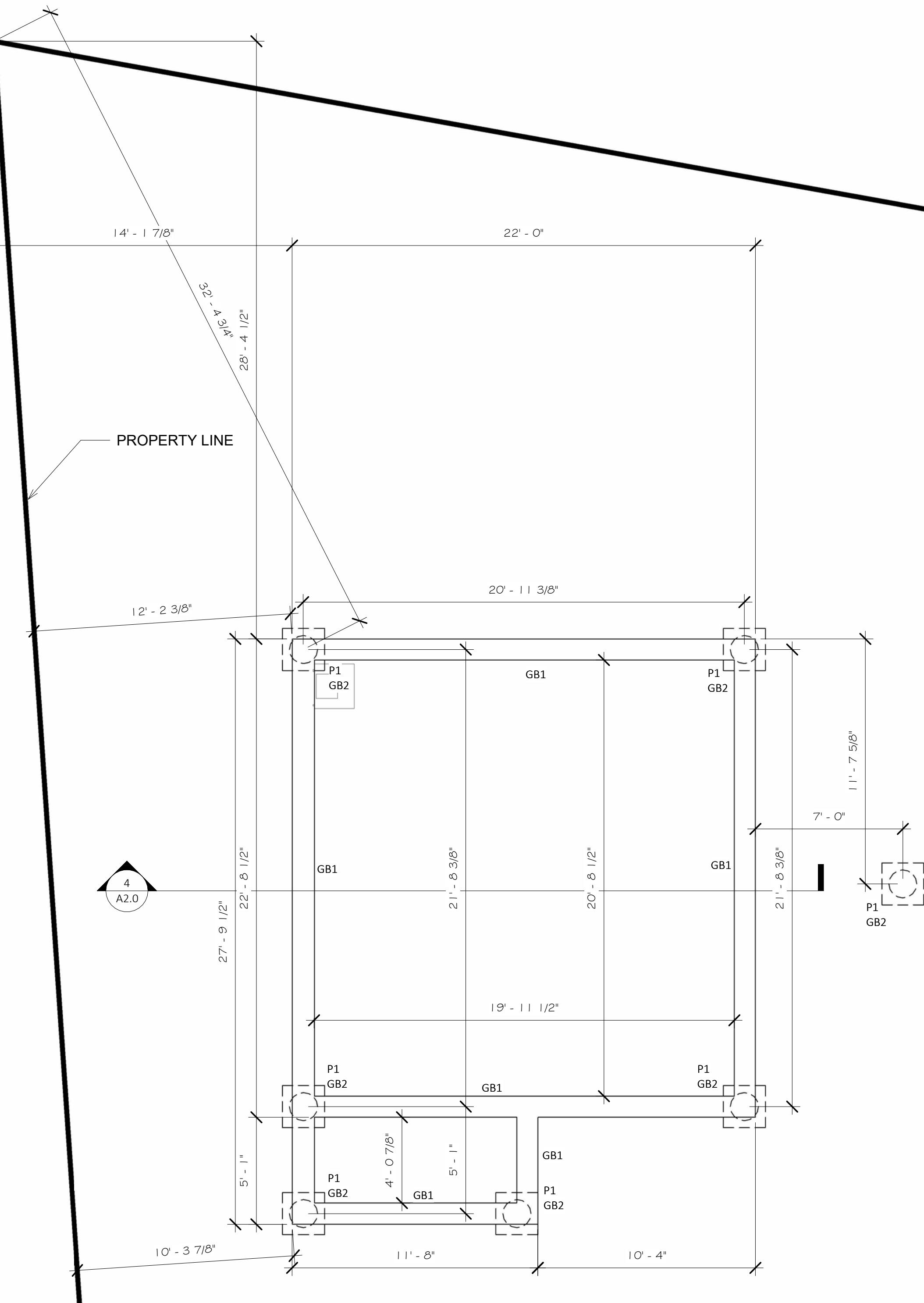
Ultimate Wind Speed:	180 mph	Nominal Wind Speed:	139 mph
Risk Category:	II	Wind Exposure:	D
Enclosure Classification:	Enclosed	End Zone Width (a):	4.00 ft.
Internal Pressure Coefficient:	0.18	Roof Geometry:	Gable
Roof Slope:	3.0 in 12 (14.0°)	Mean Roof Height:	11 ft.

(The Nominal Wind speed was used to determine the Component and Cladding design pressures.)

(This Building is in a Wind-Borne Debris Region, and all exterior glazed openings shall be protected from wind-borne debris.)

### Components and Cladding

Roof Zone 1:	+31.0 psf max., -94.4 psf min.
Roof Zone 2:	+31.0 psf max., -94.4 psf min.
Roof Zone 2n:	+31.0 psf max., -137.7 psf min.
Roof Zone 2r:	+31.0 psf max., -137.7 psf min.
Roof Zone 3:	+31.0 psf max., -137.7 psf min.
Roof Zone 3r:	+31.0 psf max., -163.7 psf min.
Overhang at Roof Zone 1:	-108.3 psf min.
Overhang at Roof Zone 2:	-108.3 psf min.
Overhang at Roof Zone 2n:	-151.6 psf min.
Overhang at Roof Zone 2r:	-151.6 psf min.
Overhang at Roof Zone 3:	-177.6 psf min.
Overhang at Roof Zone 3r:	-207.9 psf min.
Wall Zone 4:	+51.2 psf max., -55.4 psf min.
Wall Zone 5:	+51.2 psf max., -68.4 psf min.



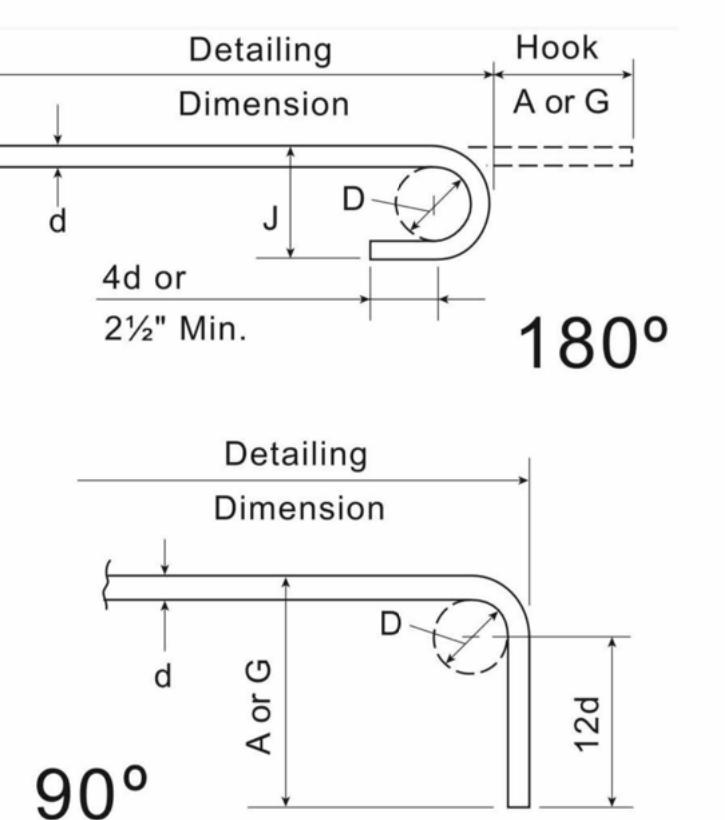
① Foundation plan  
1/4" = 1'-0"

MARK	DESCRIPTION (W x H)	TOP STEEL	BOTTOM STEEL	TIES
GB1	12 X 16	(3) #5	(3) #5	#3 @ 8" O.C.
GB2	24 x 24 x 12H	(4) #5 EW	(4) #5 EW	N/A
P1	16" DIA AUGER PILE; #5 VERT; #3 TIES @ 8" O.C. EMBED MIN. 3' INTO NATURAL UNDISTURBED ROCK; SEE SPECIFICATIONS.			
P2	4" X 4" X 1/4" HSS PIN PILE; FILL W/ 3000 PSI CONC. DRIVE MIN. 3' INTO NATURAL UNDISTURBED ROCK; SEE SPECIFICATIONS.			

ALL BEAM AND PILE CAP ELEVATIONS SHALL BE DERIVED FROM THE ARCH. FLOOR PLAN

MARK	DESCRIPTION (W x H)	TOP STEEL	BOTTOM STEEL	TIES
GB1	12 X 16	(3) #5	(3) #5	#3 @ 8" O.C.
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ALL BEAM AND PILE CAP ELEVATIONS SHALL BE DERIVED FROM THE ARCH. FLOOR PLAN



CLASS "B" TENSION LAP SPLICES				
PC				3,000 psi 4,000 psi 5,000 psi
BAR SIZE	#4	43°	37°	33°
#5	54°	47°	42°	
#6	64°	56°	50°	
#7	94°	81°	73°	
#8	107°	93°	83°	
#9	121°	105°	94°	
#10	136°	118°	105°	
#11	151°	131°	117°	

All grades of steel (minimum yield strengths)

D = Finished inside bend diameter

d = Bar diameter

Bar Size	D	180° HOOKS		90° HOOKS	
		A or G	J	A or G	
#3	2 1/4"	5"	3"	6"	
#4	3"	6"	4"	8"	
#5	3 3/4"	7"	5"	10"	
#6	4 1/2"	8"	6"	1' - 0"	
#7	5 1/4"	10"	7"	1' - 2"	
#8	6"	11"	8"	1' - 4"	
#9	9 1/2"	11 3/4"		1' - 7"	
#10	10 3/4"	11 5/8"	1' - 1 1/4"	1' - 10"	
#11	12"	11 7/8"	1' - 2 3/4"	2' - 0"	
#12	18 1/4"	2' - 3"	1' - 9 3/4"	2' - 7"	
#13	24"	3' - 0"	2' - 4 1/2"	3' - 5"	

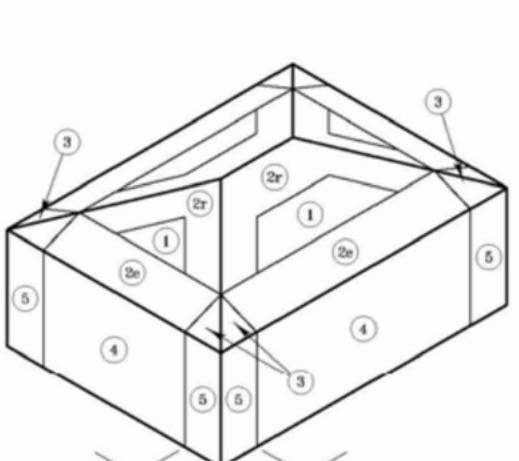
### 8" PRECAST U-LINTELS STANDARD LENGTHS

OVERALL LENGTH	TOP STEEL	BOTTOM STEEL
3'-0"	2-7/32" wire	2-#3 rebar
3'-4"	2-7/32" wire	2-#3 rebar
3'-6"	2-7/32" wire	2-#3 rebar
4'-0"	2-7/32" wire	2-#3 rebar
4'-6"	2-7/32" wire	2-#3 rebar
4'-8"	2-7/32" wire	2-#3 rebar
5'-4"	2-7/32" wire	2-#3 rebar
5'-10"	2-7/32" wire	2-#3 rebar
6'-0"	2-7/32" wire	2-#4 rebar
6'-6"	2-7/32" wire	2-#4 rebar
6'-8"	2-7/32" wire	2-#4 rebar
7'-4"	2-7/32" wire	2-#4 rebar
7'-6"	2-7/32" wire	2-#4 rebar
8'-0"	2-#3 rebar	2-#4 rebar
8'-8"	2-#3 rebar	2-#4 rebar
9'-4"	2-#3 rebar	2-#4 rebar
10'-0"	2-#3 rebar	2-#4 rebar
10'-6"	2-#3 rebar	2-#4 rebar
10'-8"	2-#3 rebar	2-#5 rebar
11'-4"	2-#3 rebar	2-#5 rebar
12'-0"	2-#3 rebar	2-#5 rebar
13'-4"	2-#3 rebar	2-#5 rebar
14'-0"	2-#3 rebar	2-#5 rebar

Additional lengths available by special order

CAST-  
C-  
RETE

NOVEMBER 6, 2023  
0096200-000000  
REV 050125: LOWERED FLOOR ELEVATION BELOW DFE  
1/4" = 1'-0"

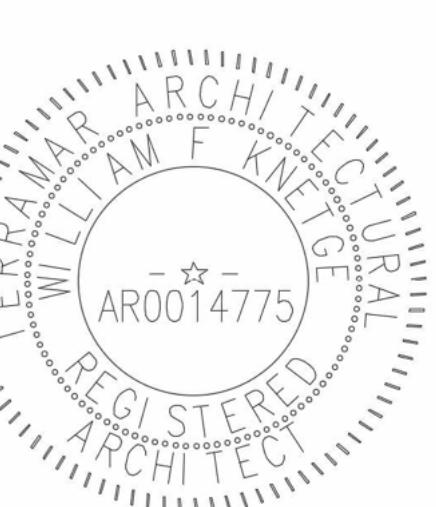


① Foundation plan  
1/4" = 1'-0"



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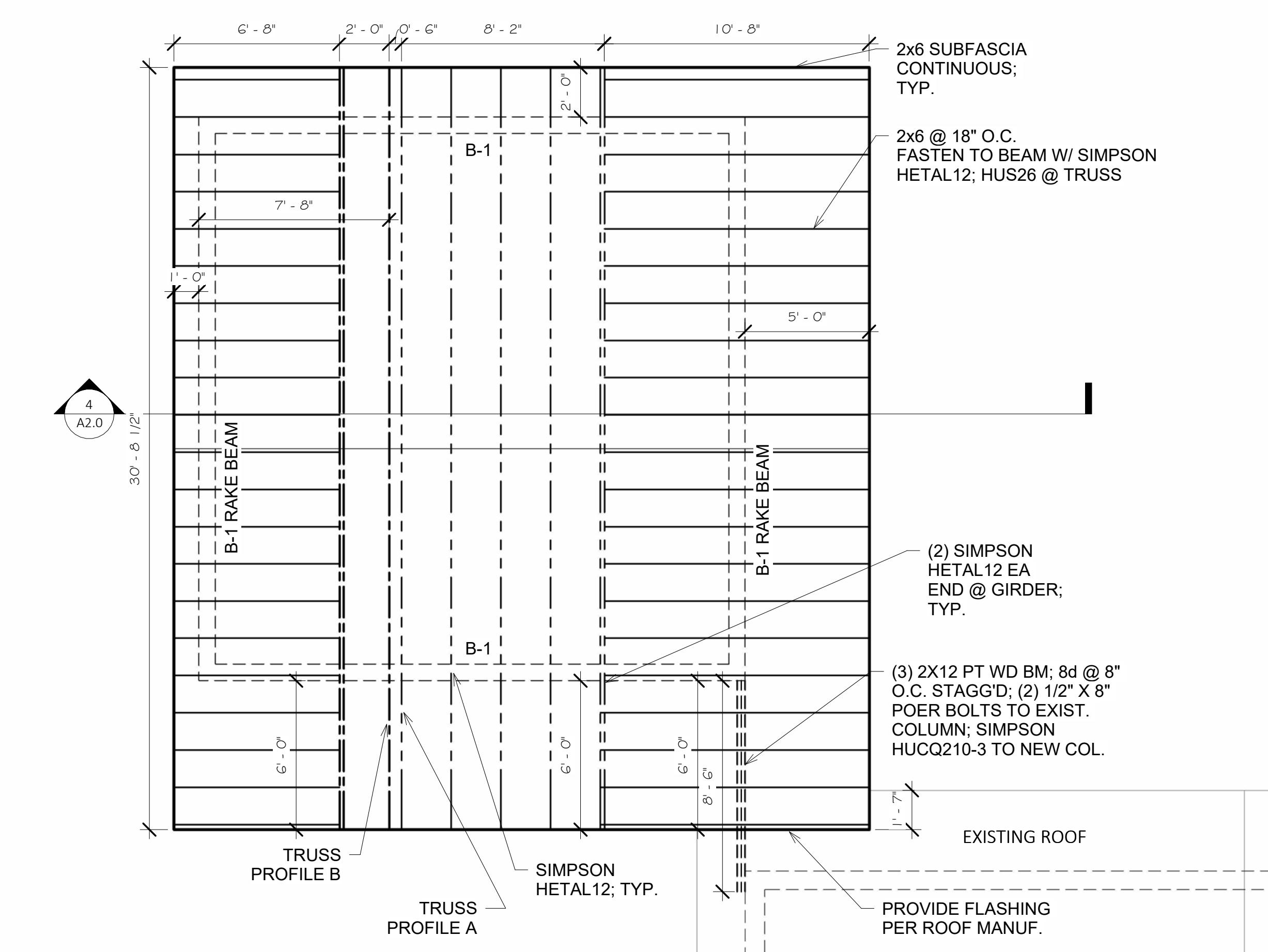
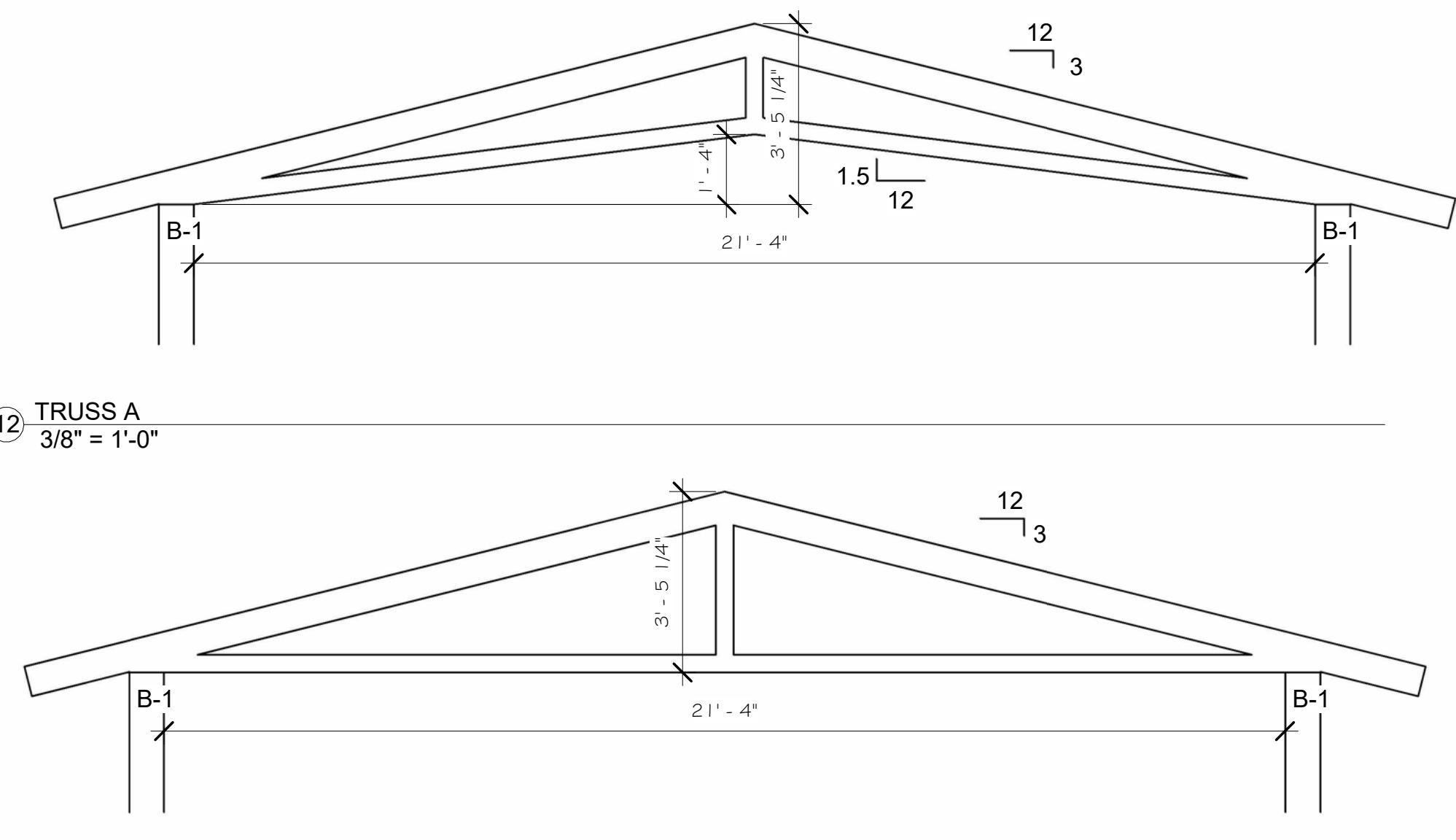


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## BEAM REINFORCING DETAIL

## BEAM REINFORCING DETAIL

SCALE: NOT TO SCALE



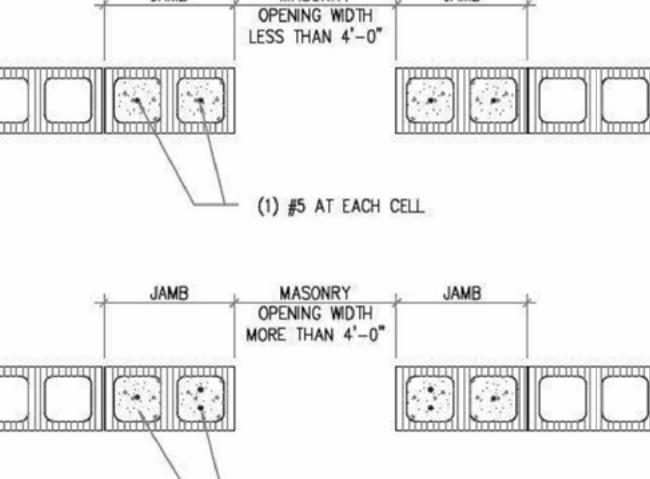
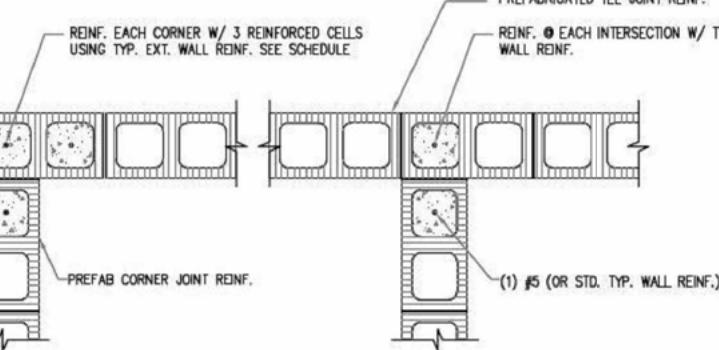
BEAM SCHEDULE					
MARK	DESCRIPTION (W ...	TOP STEEL	MID STEEL	BOTTOM STEEL	TIES
B1	8" X 16"	(2) #5		(2) #5	#3 @ 8" O.C.; (4) 2" @ ENDS

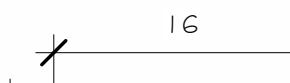
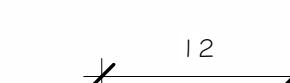
NOTE:

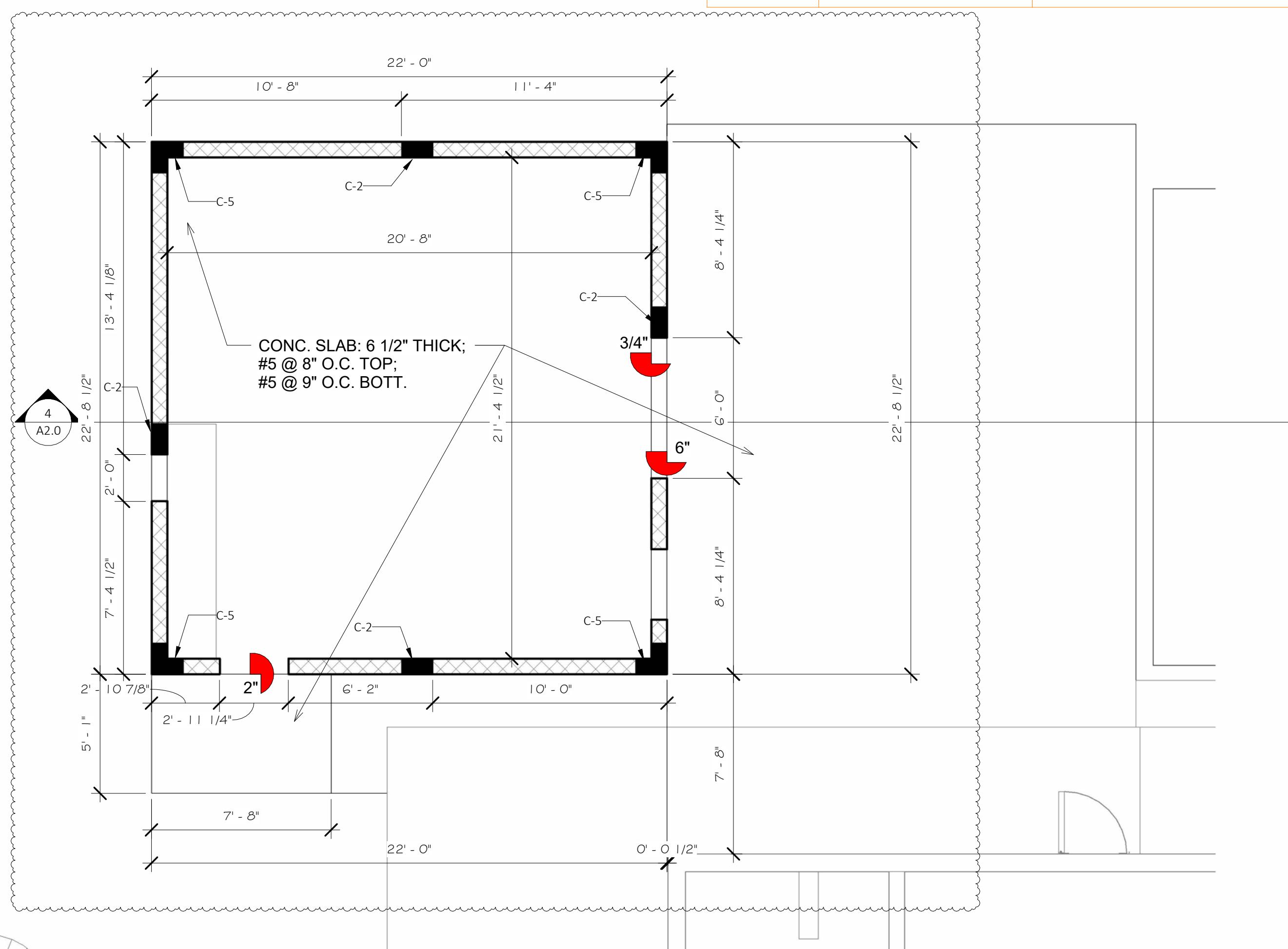
1. ANCHOR FILLED CELLS INTO SLAB OR BEAM ABOVE / BELOW AND LINTEL.
2. PROVIDE FILLED CELLS W/ (1) #5 @ EACH SIDE OF OPENING UNLESS NOTED OTHERWISE
3. SEE SECTIONS FOR BEAMS THAT MAY VARY.

## MASONRY NOTES:

1. CENTER LINE OF GRADE BEAM MATCH CENTER OF PILES U.N.O.
2. COORDINATE TOP OF SLAB WITH FINAL FLOOR FINISHES, REFER TO ARCHITECTURAL PLANS FOR FINISH ELEVATIONS.
3. PROVIDE #9 LADDER TYPE JOINT REINFORCING @16" O.C. (EVERY 2ND COURSE) FOR CONCRETE MASONRY WALL
4. COORDINATE THIS DRAWING W/ ARCHITECTURAL DRAWINGS FOR DOOR AND WINDOW ROUGH OPENINGS DIMENSIONS & LOCATIONS
5. STARTER COURSE OF MASONRY SHALL BE SET IN 3/4" SLAB RECESS UNLESS OTHERWISE NOTED.
6. SEE SPECS FOR CONCRETE RESTORATION
7. CONFIRM OPENING SIZES WITH DOOR AND WINDOW MANUFACTURERS PRIOR TO START OF CONSTRUCTION.
8. PROVIDE #5 VERT. @ 16" O.C. U.N.O. GROUT SOLID ALL CELLS.



COLUMN SCHEDULE		
C-1		4,000 PSI CONC COLUMN, 4 #5 VERT., #3 TIES @ 12" O.C. MIN WIDTH 12"
C-2		4,000 PSI CONC COLUMN, 6 #5 VERT., #3 TIES @ 12" O.C. MIN WIDTH 16"
C-3		4,000 PSI SQUARE CONC COLUMN, 4 #5 VERT., #3 TIES @ 12" O.C.
C-4		4,000 PSI SQUARE CONC COLUMN, 8 #5 VERT., #3 TIES @ 12" O.C.
C-5		4,000 PSI CONC COLUMN, 6 #5 VERT., #3 TIES @ 12" O.C.
C6		4,000 PSI 8" SQUARE CONC COLUMN, 4#5 VERT.,#3 TIES @12" O.C.



## 1 FIRST FLOOR STRUCTURAL PLAN

# First First Struct Plan

80951 Old Hwy  
Islamorada, FL 33036

slamorada, FL 33036

NOVEMBER 6, 2023

0096200-000000

# S2.0



TERRA MAR  
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## Electrical Plans

80951 Old Hwy  
Islamorada, FL 33036

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### Accessory structure 80951 NORTH

A.I.C. = 10,000

PANEL 'A' (Proposed)									
CKT	BRKR	PO	WIRE	DESCRIPTION	Note VA				
						VA	DESCRIPTION	Note	WIRE
1	30A	2P	#8	AHU1	1,2	5000			
3									
5	20A	2P	#10	CCU1	1,2	3000			
7									
9	15A	1P	#14	Closet Lighting	3				
11	15A	1P	#14	Attic Lighting	3				
13	15A	1P	#14	Outdoor Lights					
15	15A	1P	#14	Outdoor Recp.					
17	15A	1P	#14	Bathroom					
19	15A	1P	#14	Smoke Alarm	3				
Load Sub-Total:						8,000			
12,000									
Load Sub-Total									
20,000									
Total Connected Load									

Notes:  
1. Breaker sizes to be determined by manufacturer specification.  
2. HACR-rated breakers req'd for HVAC equipment. Size by mfr. spec.  
3. (210.12 & 210.17) AFCI protection is required for this branch circuit.

A.I.C. = 10,000

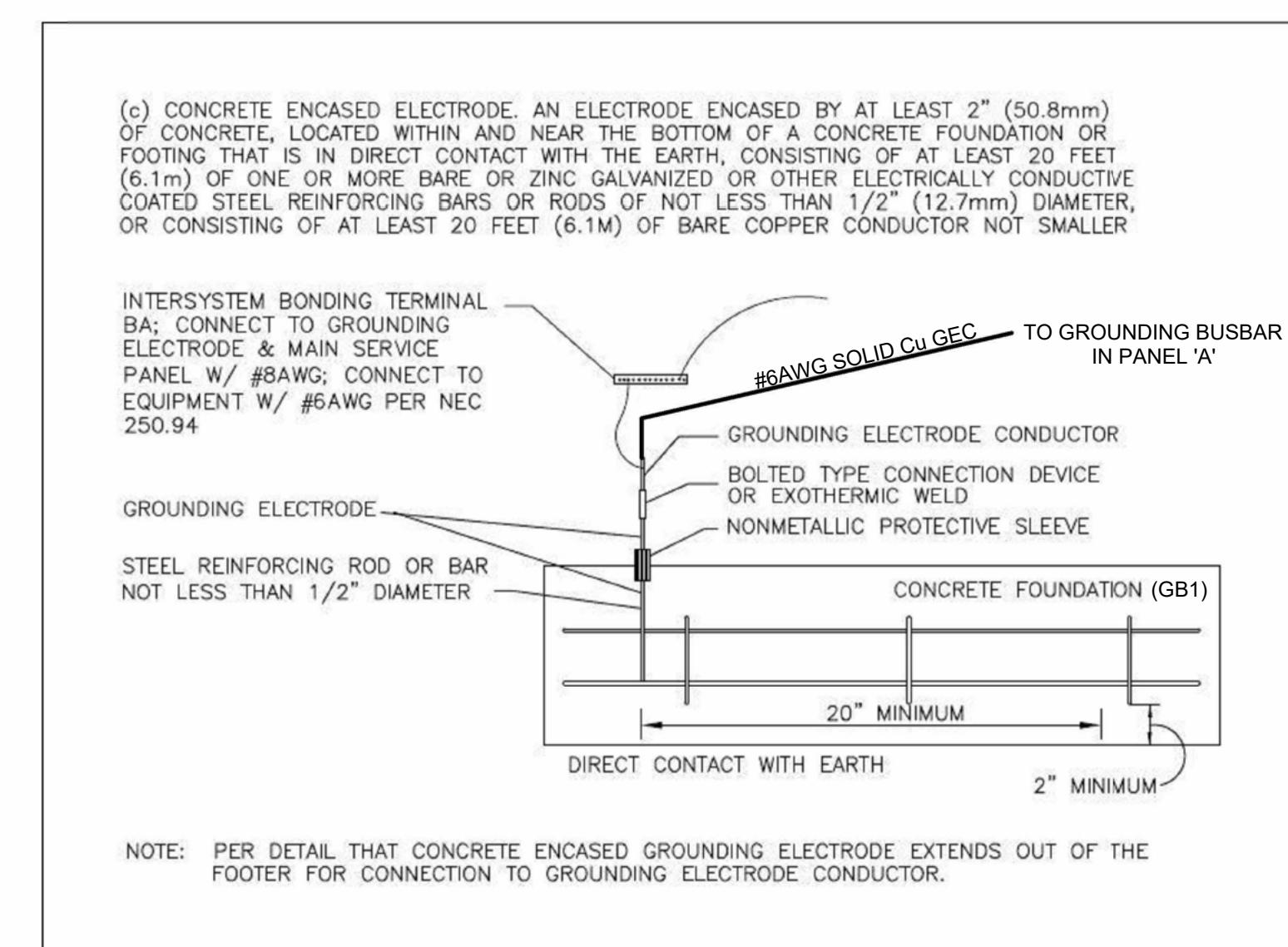
### MDP 'NORTH' (Existing)

CKT	BRKR	PO	WIRE	DESCRIPTION	Note VA	VA	150 AMP 30-SPACE MLO					
							DESCRIPTION	Note	WIRE	PO	BRKR	CKT
1	50A	2P		Range	8000							
3												
5	30A	2P		Water heater	4500							
7												
9	30A	2P		Dryer	4500							
11												
13	15A	1P		ISLAND GFCI								
15	15A	1P		Dishwasher	1,500							
17	15A	1P		Bathroom								
19	15A	1P		Living Rm								
21	30A	2P		Grinder Pump	1840							
23												
25	15A	1P		Spare								
27	15A	1P		Spare								
29	15A	1P		Spare								
Load Sub-Total:						20,340						
13,140												
Total Connected Load						33,480						

⑤ E - Revised Schedules & Calculations  
3/8" = 1'-0"

LOAD CALCULATIONS (220.82)		SERVICE
Dwelling Total Sq. Ft.:	1,105 sf	
Total Connected Load:	53,480 VA	
SF x 3 watts per Sq. Ft.:	3,315 VA	
Total Load:	56,795 VA	
HVAC (Heat > AC)	11,000 VA	
Total Load less HVAC :	45,795 VA	
Less First 10KW at 100%:	(10,000) VA	
Remainder :	35,795 VA	
First 10 KW @ 100% :	10,000 VA	
Remainder at 40% :	14,318 VA	
Heat > AC at 100%:	11,000 VA	
Total Computed Load :	35,318 VA	
35318 VA		
÷ 240 VAC =	147 Amps	
Existing 150 Amp CSED		

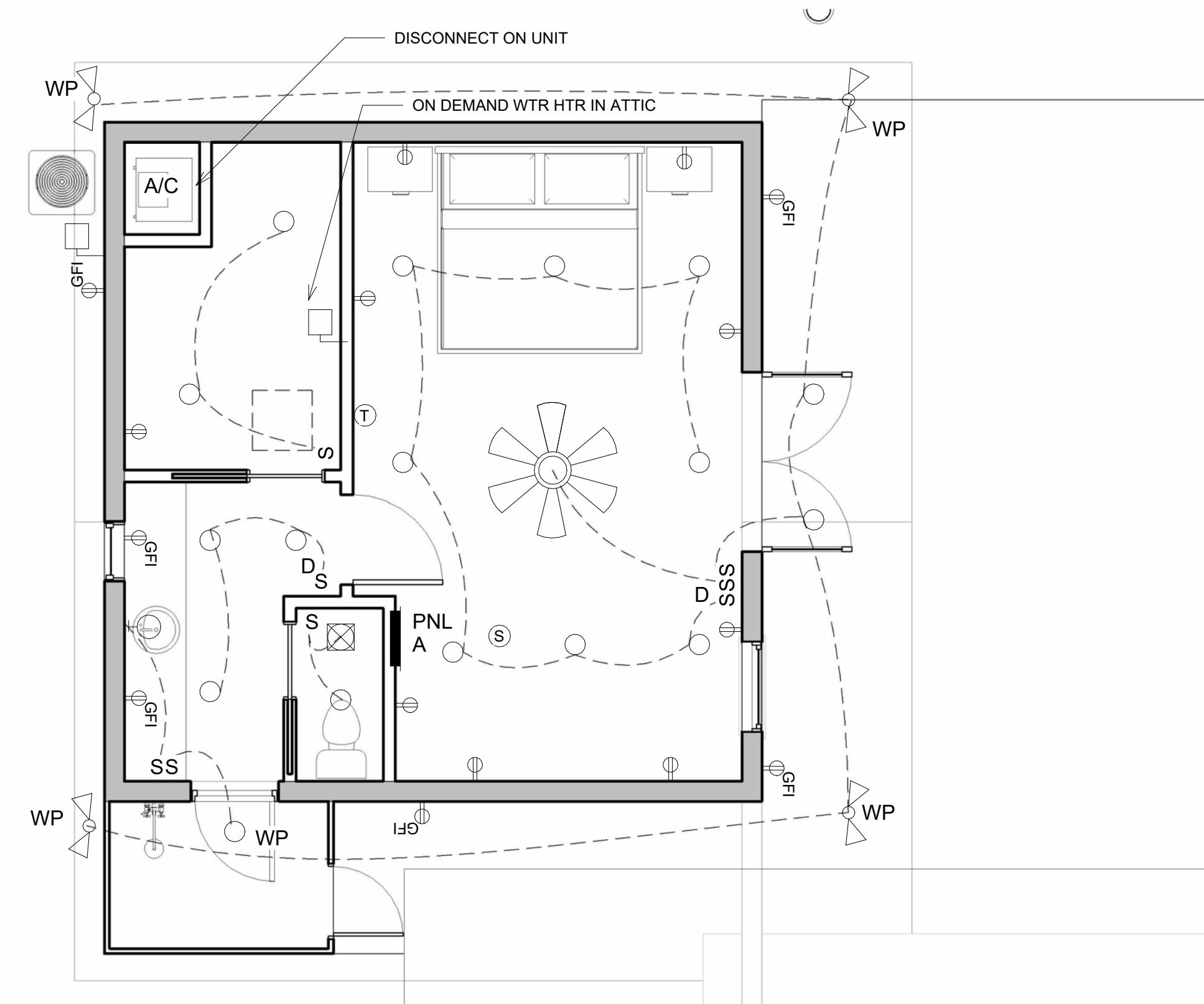
⑥ E - Service Calculation  
3/8" = 1'-0"



### GENERAL ELECTRICAL NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
3. ALL EQUIPMENT SHALL BE UL-LISTED FPR ITS USE AND LOCATION.
4. CONTRACTOR SHALL VERIFY ALL EQUIPMENT ELECTRICAL REQUIREMENTS, INTERLOCK, BONDING AND GROUNDING REQUIREMENTS.
5. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS
6. ALL INTERIOR WIRING SHALL BE INSULATED COPPER IN ENT (SMURF) CONDUIT OR SCH 40 PVC U.N.O. NO ROMEX SHALL BE PERMITTED. ALL LOW VOLTAGE SHALL BE RUN IN NON-METALLIC CONDUIT.
7. SMOKE DETECTORS SHALL BE HARD-WIRED FOR BOTH 120V POWER AND COMMUNICATION LINK THROUGHOUT THE STRUCTURE. LINK WIRE SHALL BE MIN. 14 AWG COPPER OF A COLOR NOT USED IN ANY BRANCH CIRCUIT.
8. ALL TELEPHONE AND CABLE SERVICE ENTRANCES SHALL BE RUN IN UNDERGROUND RACEWAYS.
9. VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK
10. NO CONDUITS OR BOXES SHALL BE VISIBLE IN FINISHED AREAS. ALL FACEPLATES SHALL BE LEVEL AND FLUSH WITH WALL SURFACES.
11. ALL OUTLETS AND SWITCHES SHALL BE INSTALLED ABOVE BASE FLOOR HEIGHT.
12. NO ELECTRICAL SHALL BE INSTALLED WITHIN 10' - 0" OF WATER SURFACE U.N.O. ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN NEMA 3X OR 4X ENCLOSURES (110.28, CORROSIVE AGENTS). THIS REQUIREMENT SHALL NOT APPLY TO LOW VOLTAGE DEVICES (I.E., 24VDC OR LESS).
13. CONDUITS SHALL NOT OCCUPY MORE THAN 10% OF COLUMN OR BEAM CROSS SECTIONAL AREA.
14. A FINAL PANEL SCHEDULE FOR ALL PANELS SHALL BE PROVIDED TO ARCHITECT.
15. ALL LOW VOLTAGE WIRING SHALL BE RUN IN NM CONDUIT.
16. ALL EXTERIOR OUTLETS SHALL BE WEATHERPROOF NON-CORROSIVE INCLUDING IN-USE COVERS AND FACEPLATES. PAINT INSIDE ALL EXTERIOR OUTLET BOXES TO PREVENT CORROSION.
17. PROVIDE LABELING ON PANELS, BOXES AND EQUIPMENT AS REQUIRED BY NEC.
18. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION.
19. ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
20. NOT LESS THAN 90% OF THE LAMPS PERMANENTLY INSTALLED SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS/W OR SHALL UTILIZE LAMP WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS/W
21. ALL OUTDOOR INSTALLATIONS SHALL COMPLY WITH NEC 110.12, NEC 110.28 AND NEC 358.12
22. ALL DEDICATED EQUIPMENT CIRCUITS SHALL HAVE OCP COMPLIANT WITH MANUFACTURER'S SERVICE TAG REQUIREMENTS.
23. ALL EXTERIOR LIGHTING SHALL BE CUTOFF FIXTURES PER VILLAGE OF ISLAMORADA REQUIREMENTS.
24. PROVIDE PULL STRING LIGHT FIXTURE ABOVE ATTIC ACCESS.

ELECTRICAL LEGEND	
	CABLE TV OUTLET
	PHONE OUTLET
	THERMOSTAT
	SMOKE DETECTOR
	ELECTRICAL PANEL
	GARAGE DOOR OPENER
	EXHAUST FAN/LIGHT COMBO
	ELECTRICAL SWITCH
	WALL MOUNTED LIGHT
	GFCI DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE
	220V RECEPTACLE
	SIMPLEX RECEPTACLE
	COMPUTER DATA PORT
	ELECTRICAL DISCONNECT
	INTERCOM
	RECESSED FLOOR OUTLET
	EXTERIOR MOUNTED FLOOD LIGHT



REV 050125: LOWERED FLOOR ELEVATION BELOW DFE

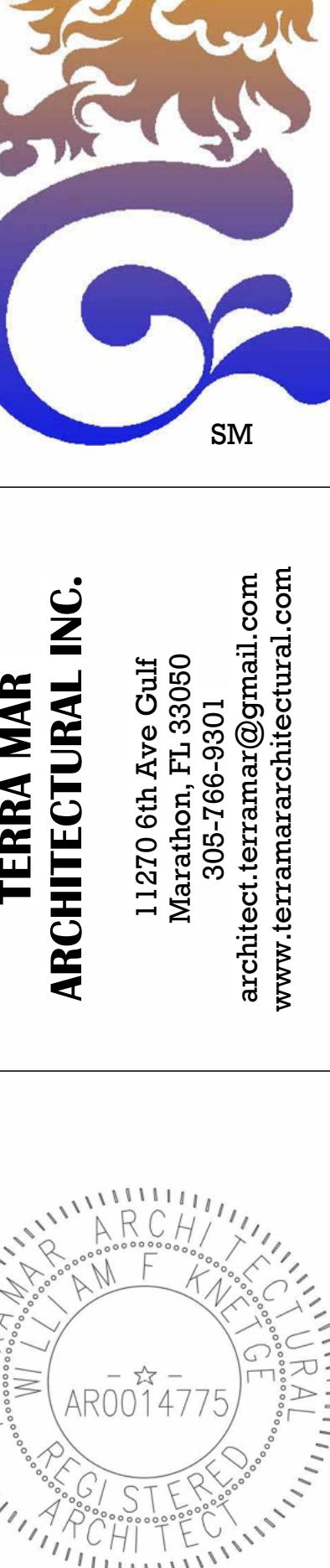
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NOVEMBER 6, 2023  
0096200-000000



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## HVAC & Plumbing Plan

80951 Old Hwy  
Islamorada, FL 33036

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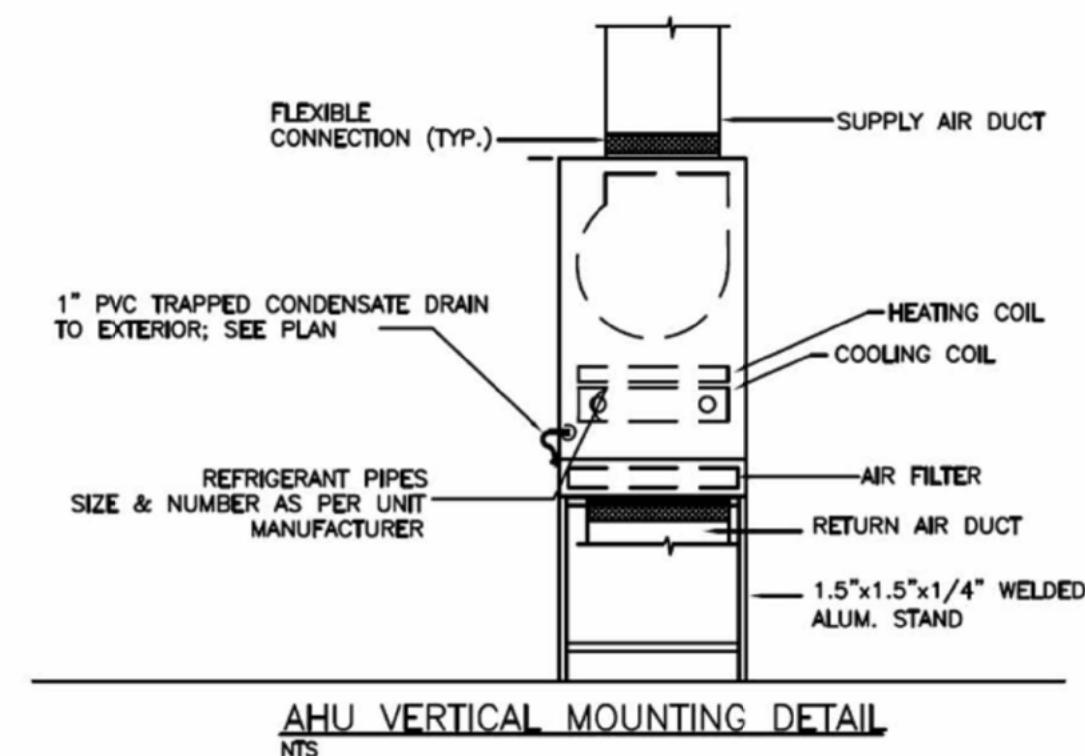
**PLAN**

NOTES:  
- (2) REQUIRED  
- TOTAL LOAD 300#  
- 2" X 2 1/2" X 1" ALUMINUM ANGLE 6061.T  
- INERT GAS WELDS ALL MEMBERS  
- (3) 1/2" DIA SS BOLTS PER BRACKET  
- SPACE BRACKET TO SUIT  
ANCHOR BOLT LOCATIONS

DESIGN FLOOD ELEVATION TOP OF BRACKET  
3'-0" 45.00° (3) 1/2" DIA. HOLES

**ELEVATION** **FRONT**

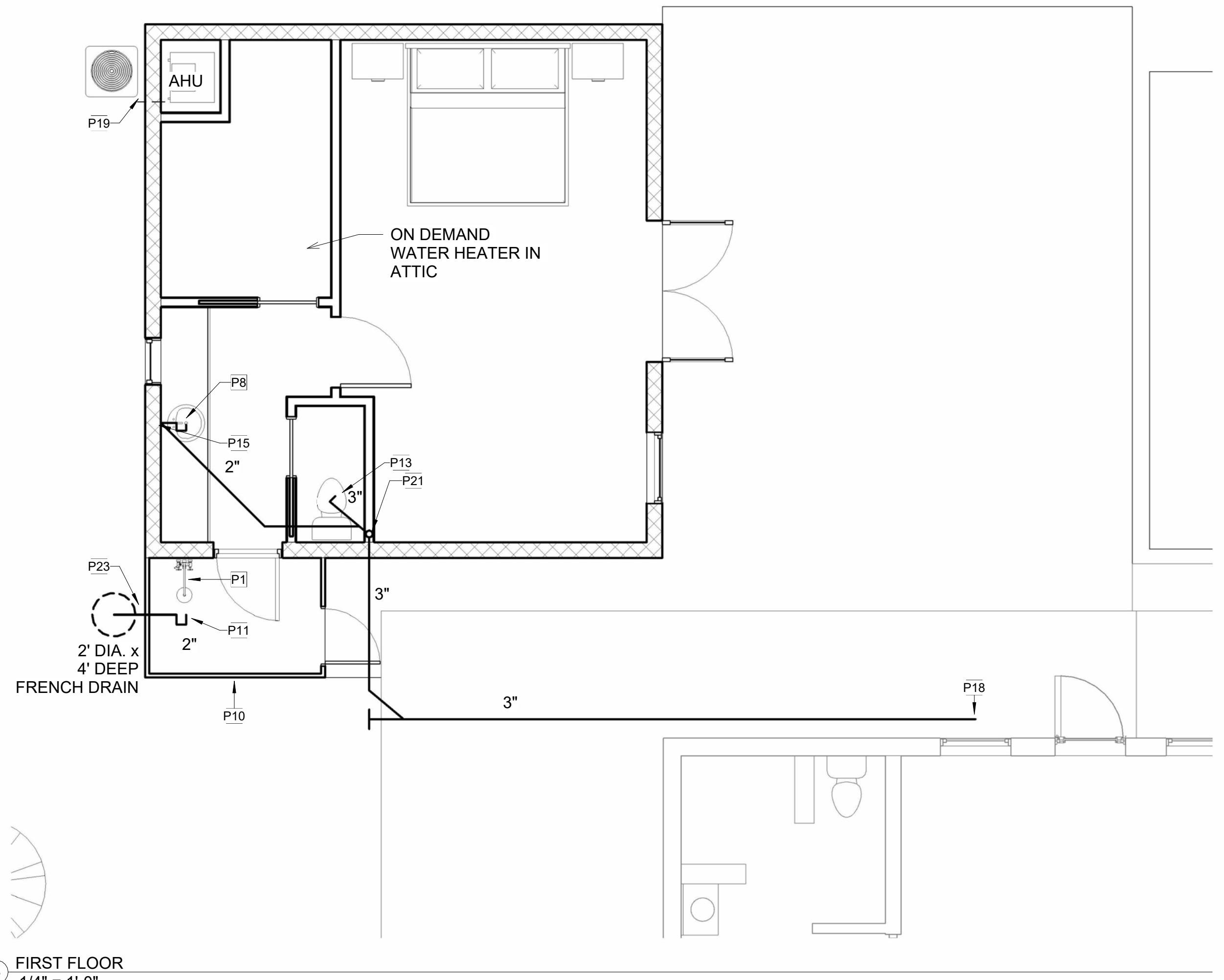
③ A/C CONDENSER BRACKET  
6" = 1'-0"



AIR CONDITIONING EQUIPMENT SCHEDULE		
UNIT	AHU #1	CU #1
MIN. SEER2	19	19
LOCATION	WALL MOUNTED	INTERIOR STAND
SIZE	1.5 TONS	1.5 TONS
ELEC SERV	240VAC	240VAC
NOM HEATING	5 KW COIL	N/A
MANUF/MODEL	LENNOX/ CBX-018	LENNOX/ XP19-018

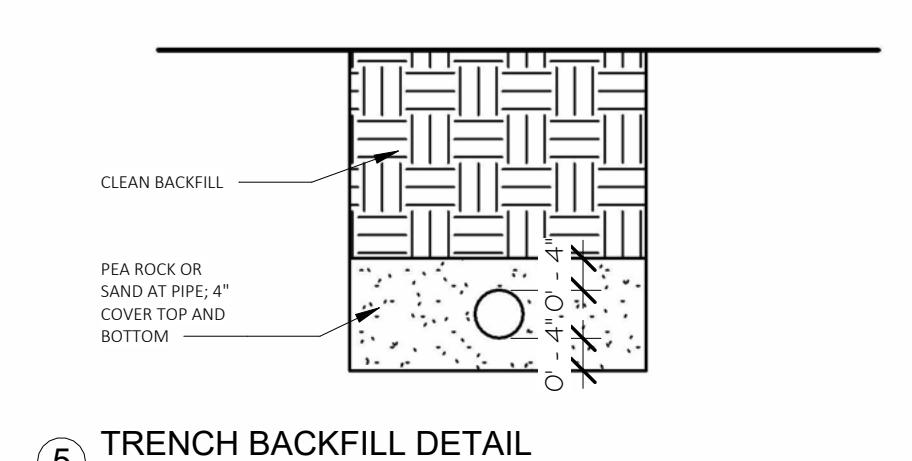
**GENERAL HVAC NOTES:**

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
3. REFER TO THE C1.0 SITE PLAN FOR SITE LAYOUT.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND LIMITATIONS OF EXISTING SANITARY AND WATER.
5. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
6. HVAC FLEX DUCT LONGER THAN 3' IS PROHIBITED.
7. SEE MECHANICAL CUT SHEETS FOR EQUIPMENT DETAILS.

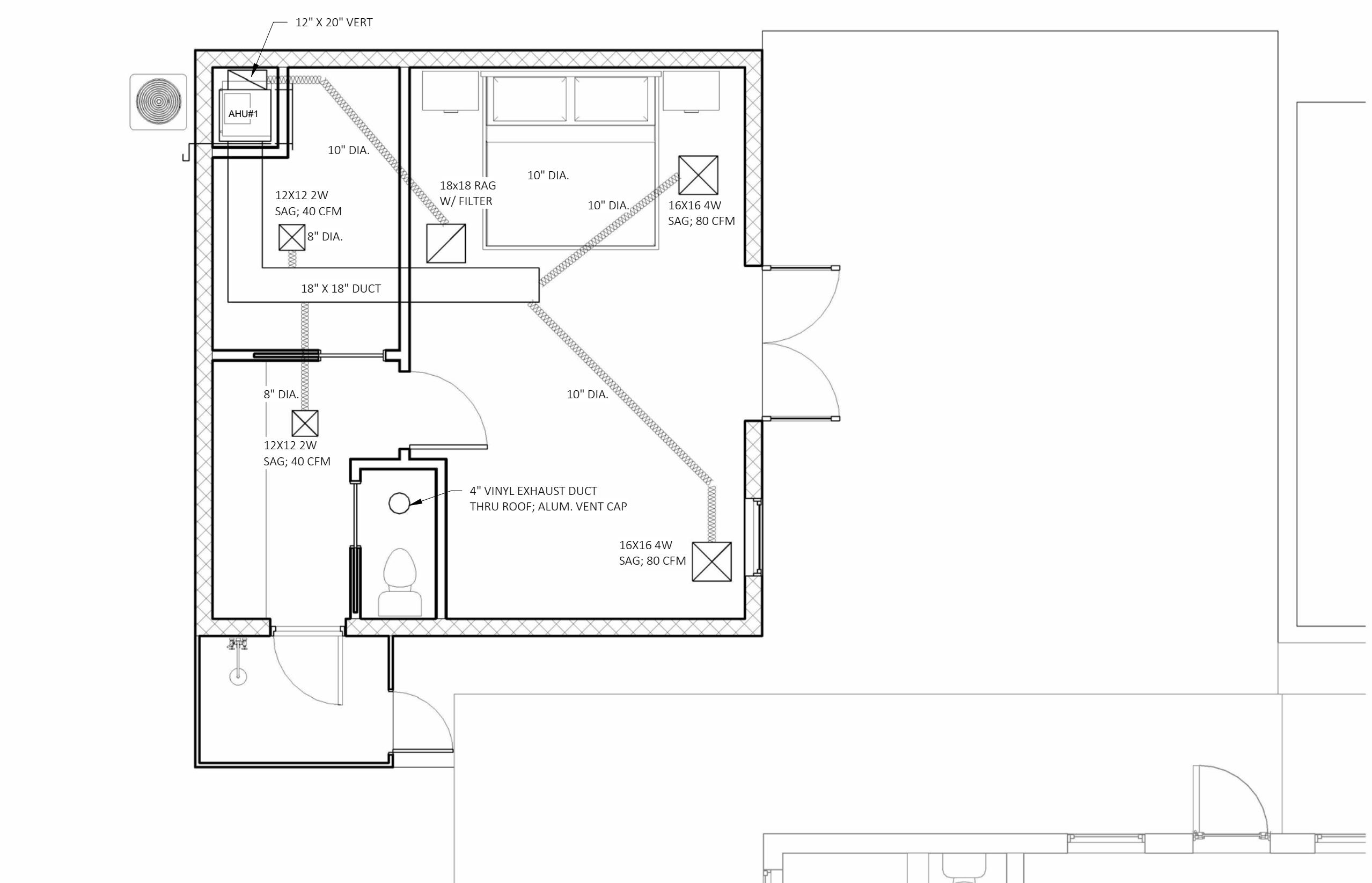


④ FIRST FLOOR  
1/4" = 1'-0"

Key Value	Keynote Text
P1	HOT, COLD SUPPLY SHOWER VALVE AND HEAD
P8	2" TRAP W/ CLEAN OUT; CHROME PLATED BRASS ESCUTCHEONS & VALVES.
P10	SHOWER PRIVACY FENCE BY OTHERS
P11	4" PVC/STAINLESS SHOWER DRAIN W/ 2" P-TRAP; COORD W/ MEMBRANE.
P13	3" TOILET FLANGE W/ WAX RING
P15	1.5" AUTOVENT (AAV).
P18	CONNECT TO EXISTING GRAVITY LINE
P19	1" CONDENSATE LINE TO LANDSCAPING AT 3" TO 6" ABOVE GRADE; PROVIDE TRAP AND THREADED ACCESS FOR CLEANING LINES.
P21	2" VENT THRU ROOF; COMBINE TO MINIMIZE ROOF PENETRATIONS. COORDINATE WITH ROOF MEMBRANE. APPROVED BOOT REQ'D.
P23	24" DIAMETER FRENCH DRAIN; 57 AGGREGATE; GEOTEXTILE.



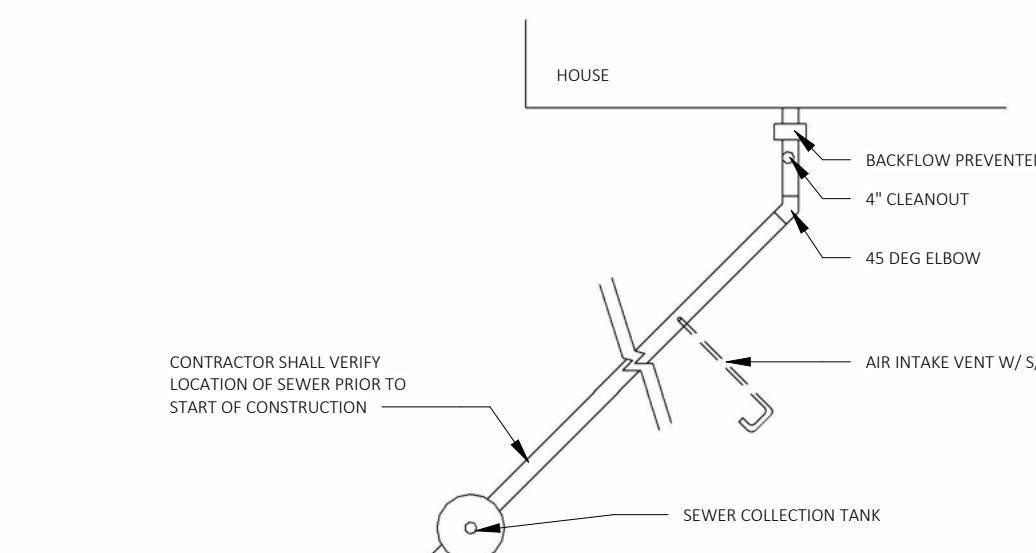
⑤ TRENCH BACKFILL DETAIL  
1/2" = 1'-0"



① FIRST FLOOR  
1/4" = 1'-0"

### GENERAL PLUMBING NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
3. REFER TO THE C1.0 SITE PLAN FOR SITE LAYOUT.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND LIMITATIONS OF EXISTING SANITARY AND WATER.
5. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
6. ALL SANITARY SLOPE SHALL COMPLY WITH THE FLORIDA PLUMBING CODE.
7. ALL PIPING SHALL BE BACKFILLED WITH CLEAN FILL.
8. ALL DOMESTIC WATER BELOW SLAB SHALL BE SLEVED.
9. COORDINATE VENTS WITH G.C.
10. PROVIDE 1" SCHEDULE 80 PVC WATER MAIN TO HOUSE. PROVIDE SHUTOFF VALVE IN FIBERGLASS HAND HOLE WITHIN 3' OF BUILDING.
11. ALL SHOWERS SHALL RECEIVE 40 MIL OATEY SHOWER PAN LINER. NO SEAMS PERMITTED, SEAL PER MANUFACTURER AT DRAIN.



⑥ SEWER CONNECTION DIAGRAM  
1/2" = 1'-0"

REV 050125: LOWERED FLOOR ELEVATION BELOW DFE

**MP1**



## Islamorada, Village of Islands Planning & Development Services

86800 Overseas Highway, Islamorada, FL 33036  
T: 305-664-6400, F: 305-664-6467

### APPLICATION FOR VARIANCE

Pursuant to Code Chapter 30, Article IV, Division 2

Application Type:	Fee:	*Deposit:	Total Fee:
Residential	\$1,500.00	\$500.00	\$2,000.00
Nonresidential	\$2,000.00	\$500.00	\$2,500.00

\* A deposit is required for development approval or permits which necessitate additional review and processing, and/or public hearing and notice requirements. Applicants are required to pay a cost recovery deposit which shall be credited toward the fee charged for such additional review and processing and shall pay additional deposits as may be required from time to time. A debit based upon the actual time expended in reviewing an application and the applicable actual amount charged to the Village shall be charged against the cost recovery deposit.

An application must be deemed complete and in compliance with the Village Code by Staff prior to the items being scheduled for review. **See list of required submittals and documents below.**

**APPLICANT / AGENT (if applicable):** Property owner must submit a notarized letter authorizing the applicant/agent to act on their behalf including the agent's name, address and phone number.

Name: Patricia S Esslinger

Mailing Address: 80951 Old Highway, Islamorada, FL 33036

Primary Phone: 305-393-4433

Fax: \_\_\_\_\_

Email: patti.stanley@me.com

**PROPERTY OWNER:**

Name: Patricia S Esslinger

Mailing Address: 80951 Old Highway, Islamorada, FL 33036

Primary Phone: 305-393-4433

Fax: \_\_\_\_\_

Email: patti.stanley@me.com

**LEGAL DESCRIPTION OF PROPERTY:** If in metes and bounds, attach legal description on separate sheet.

Physical Address: 80951 Old Highway, Islamorada, FL 33036 Mile Marker: \_\_\_\_\_

Lot: 6 Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Plantation Key  Windley Key  Upper Matecumbe Key  Lower Matecumbe Key

Real Estate (RE) Number: 00096200-000000 Alternate Key: 1111783

**PROPERTY DESCRIPTION:**

Zoning District: Settlers Residential Future Land Use Category: \_\_\_\_\_

Total Land Area: \_\_\_\_\_ Square Feet 11,180

Existing Use of Property: Multi-family Duplex

Proposed Use of Property: Multi-Family Duplex

**PROPOSED VARIANCE:**

State the Code Section(s) and the Land Development Regulations standard(s) required (i.e., setbacks, parking, loading, Sec 30-691 Settlers residential (SR) Zoning District , Specifically Section 3.4.C Rear Yard Setback of minimum 20 feet

**PROPOSED VARIANCE (Continued):**

Describe the variance requested:

Requesting to have a variance to encroach on the 20 foot setback so that the Concrete Slab of attached addition can be constructed at or as close to the height of the concrete slab of the existing structure

**List all applications for development permits submitted for the site within the past three (3) years.** Please indicate the type of application, name of applicant, date of application and whether the application was approved, denied or withdrawn.

- PRBLD202500406 Patricia S Esslinger Building 4/29/2025 Under review
- PRMCH202401077 Patricia S Esslinger Mechanical 10/7/2024 Approved
- PRBLD202301268 Patricia S Esslinger. Building 12/14/2023 Approved
- PRBLD202300933 Patricia S Esslinger Building 8/30/2023 Approved
- PRBLD202201490 Patricia S Esslinger Building 12/14/2022 Approved

**CRITERIA: No variance shall be approved which fails to meet any standard below. Failure to comply with any standard shall be deemed adverse to the public interest. Please describe how the proposed variance meets each standard. Attach additional sheets if necessary.**

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district:

In this instance the dwelling falls into a unique circumstance whereas the ordinance allows for Accessory structures for single family structures, but since the dwelling is a multi-family structure that falls into a gray area. The permit has been approved as such for an attached accessory structure with the accessory structure setback consideration, but in doing so that requires us to construct the concrete slab at the current NGVD which places the concrete slab higher than the current structure and requires several landings in order to access the home which makes it difficult for aging and mobility impacted individuals to access the Accessory Structure/Addition

2. The special conditions and circumstances do not result from the actions of the applicant:

No, They Do not

3. Literal interpretation of the provisions of the Land Development Regulations ("LDRs") deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the LDRs and works unnecessary and undue hardship on the applicant:

This application is being affected by two sections of ordinance Sec 30-691 where Accessory structures are only intended for single family use and the Setbacks require at least 20' from the rear.

Under the attached accessory structure we were able to overcome the hurdle of the setbacks, but are being required to construct at (or above) NGVD for the new construction, where as if we could construct as an addition with a variance on the setback, we could construct below NGVD to match that of the current and primary structure.

4. Granting the variance requested conveys the same treatment to the individual owner as to the owner of other lands, buildings, or structures in the same zoning district:

Yes, granting this variance to this parcel is directly in the benefit of the individual owner and that parcel in particular in reference

5. The variance, if granted, is the minimum variance that makes possible the reasonable use of the land, building, or structure:

The minimal Variance would be to allow for the addition to be built at the same location as already proposed and approved, but as an addition that allows it to be built at only a 9' setback instead of the 20' setback at the NGVD of the existing primary structure.

6. The grant of the variance is in harmony with the general intent and purpose of this chapter, and is not injurious to the neighborhood, or otherwise detrimental to the public welfare:

This parcel of land is surrounded by commercial property on all 3 sides and the approval of this variance will not impede or be injurious to that of the county, the village, the neighborhood, or public welfare.

**REQUIRED SUBMITTALS:** All of the following must be submitted in order to have a complete application.

- Correct application fee (Total Fee Amount).**
- Notarized agent authorization letter**, if applicable, including the agent's name, address and phone number authorizing the applicant/agent to act on all property owners' behalf.
- Proof of ownership** e.g. warranty deed, lease or pending sale contract.
- Property record card(s)** from the Monroe County Property Appraiser.
- Location map** showing where the project is located on the Key.
- Photographs** of site from adjacent streets or a recent aerial photograph with property boundaries delineated.
- Signed and sealed survey** prepared by a Florida registered surveyor. The survey shall include elevations and location of all existing structures, paved areas, location of all utility structures, all easements, all bodies of water on and adjacent to the site, docks, piers, mean high water line and total acreage by habitat.
- Site plan** prepared by a professional architect, engineer, or landscape architect. See Code Section 30-215 for minimum site plan requirements.

If deemed necessary to complete a full review of the application, the Planning and Development Services Department reserves the right to request additional information.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate. I certify that all information required has been provided.

Digital signatures do not require notarization when they can be verified by a Trusted Certificate issued by a third-party Certificate Authority. If you are not using a "verifiable digital signature", print this document and have it notarized.

Signature of Applicant

Date

Print Name: PATRICIA STANLEY ESSLINGER

5/5/25

STATE OF

FL

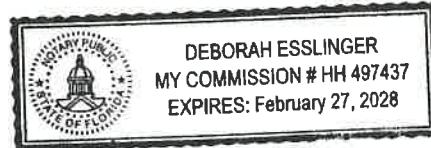
COUNTY OF

Monroe

Sworn to and subscribed before me by means of  physical appearance or  online notarization, this 5<sup>th</sup> day of May, 2025 by Patricia Stanley (name of person signing the application) as owner (type of authority e.g. officer, manager / member, trustee, attorney in fact) for \_\_\_\_\_ (name of entity or party on behalf of whom application was executed).

Deb  
Signature of Notary Public

SEAL:



Personally Known

Produced Identification

Type of ID \_\_\_\_\_

