



# Council Communication

**To:** Mayor and Village Council  
**From:** Jennifer DeBoisbriand , Planning Director  
**Date:** July 24, 2025  
**SUBJECT:** Public Hearing - 80951 Old Hwy- Variance Rear Yard Setback

## **Background:**

The subject property is located at 80951 Old Highway. The property is located in Upper Matecumbe Key. The site maintains a lot area of approximately 11,180 square feet. The site is zoned Settlers Residential (SR) District and is located within the Mixed Use (MU) Future Land Use Map (FLUM) category. The site is adjacent to commercial properties, located within the Highway Commercial (HC) Zoning District to the north, south and west and residential properties, located within Settlers Residential and Multi-Family Zoning Districts to the east.

There is currently a multifamily duplex residence on the site. The applicant is seeking a variance to encroach within the 20 foot rear setback and to allow a 9 foot rear setback.

## **Analysis:**

According to Section 30-221: "A variance is relaxation of the terms of this chapter where such action will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of actions of the applicant, a literal enforcement of this chapter would result in unnecessary and undue hardship on the property. As used in this section, a variance is authorized only for height, setbacks, parking, and loading requirements, and landscaping, unless otherwise specified in this chapter. Under no circumstances shall the director of planning and development services or the village council grant a variance to permit a floor area ratio or a use not permitted under the terms of this chapter."

Pursuant to Sec. 30-221 (d) "When considering an application for a variance, the director and village council shall consider the following factors, and no variance shall be approved which fails to meet any standard below. Failure to comply with any standard shall be deemed adverse to the public interest.

(1) Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

In order meet the existing foundation the concrete slab must encroach into the setback. The addition is being constructed for those with mobility issues and the aging population and the access needs to be level with the existing home.

(2) The special conditions and circumstances do not result from the actions of the applicant;

The topography, size and shape of the property dictate how the slab should be poured.

(3) Literal interpretation of the provisions of this chapter deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this chapter and works unnecessary and undue hardship on the applicant;

Under section 30-691 accessory structures are limited to single family structures only. This literal interpretation is a hardship for the applicant.

(4) Granting the variance requested conveys the same treatment to the individual owner as to the owner of other lands, buildings, or structures in the same zoning district;

Granting the variance would provide this applicant with same treatment by allowing what amounts to an accessory structure a reduced setback.

(5) The variance, if granted, is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

Yes

(6) The grant of the variance is in harmony with the general intent and purpose of this chapter, and is not injurious to the neighborhood, or otherwise detrimental to the public welfare.”

The property is surrounded by commercial activity. Granting this variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

**Budget Impact:**

None

**Staff Impact:**

None

**Recommendation:**

Staff has reviewed the request for a Variance and determined that the request is consistent with the goals, objectives, and policies of the comprehensive plan and does comply with applicable provisions of the Code of Ordinances. Therefore, Staff recommends that the Village Council APPROVE the proposed Variance to the construction of an attached accessory structure within the required 20-foot rear setback and allow a 9 foot rear setback by adoption of the attached Resolution.

**Attachments:** 1. 80951 CC Backup  
2. Resolution 80951 old hwy

## **RESOLUTION NO. 25-XX**

**A RESOLUTION OF THE VILLAGE COUNCIL OF ISLAMORADA, VILLAGE OF ISLANDS, FLORIDA, CONSIDERING THE REQUEST OF PATRICIA ESSLINGER FOR A VARIANCE FROM THE PROVISIONS OF SECTION 30-691(E)(4)(C) – REAR YARD SETBACK, TO ALLOW FOR THE CONSTRUCTION OF AN ADDITION WITHIN THE REAR YARD SETBACK FOR PROPERTY LOCATED AT 80951 OLD HWY ON UPPER MATECUMBE KEY, WITHIN THE SR (SETTLERS RESIDENTIAL) ZONING DISTRICT, WITH REAL ESTATE NUMBER 00096200-000000, AS LEGALLY DESCRIBED HEREIN; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, Patricia Esslinger (the “Applicant”) is the owner of property located at 80951 Old Highway on Upper Matecumbe Key, with Parcel Identification Number 00096200-000000 and legally described below (the “Property”) within Islamorada, Village of Islands, Florida (the “Village”); and,

**WHEREAS**, the Applicant has submitted an application for a variance from Section 30-691(e)(4)(c) to allow for the construction of an attached accessory structure within the rear yard setback. The proposed variance is for an eleven foot (11’) reduction in the required twenty foot (20’) rear yard setback; and

**WHEREAS**, on July 24, 2025, the Village Council of Islamorada, Village of Islands, Florida (the “Village Council”) conducted a duly noticed Public Hearing regarding the Variance Request (the “Request”).

**NOW, THEREFORE, BE IT RESOLVED BY THE VILLAGE COUNCIL OF ISLAMORADA, VILLAGE OF ISLANDS, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The above recitals are true, correct, and incorporated herein by this reference.

**Section 2. Findings of Fact.** The Village Council, having considered the Request, the relevant support materials and public testimony given at the Hearing, does hereby find and determine:

1. The Request complies with the standards of Code Sec. 30-221(d) for considering Variances.

2. The Request is consistent with the goals, objectives, and policies of the Village Comprehensive Plan, including standards for building and structural intensities and densities, and intensities of use.

3. The Village Council, having considered the testimony and evidence presented by all parties, including Village Staff, does hereby find and determine:

a. The Application for a Variance **does/does not** meet the requirements set forth in Code Section 30-221 and **has/has not** demonstrated through competent substantial evidence that the criteria for granting the Request have been met; and,

b. The Village Council **approves/denies** the Request submitted by the Applicant, for the following described property:

5 64 37 ISLAND OF UPPER MATECUMBE PB1-41 PT LOT 6 as shown in the Public Records of Monroe County.

**Section 3. Conclusions of Law.** Based upon the above Findings of Fact, the Village Council does hereby make the following Conclusions of Law:

(1) The Request has been processed in accordance with the applicable provisions of the LDRs, and will not be detrimental to the community as a whole.

(2) In rendering its decision, as reflected in this Resolution, the Village Council has:



- (a) Accorded procedural due process; and,
- (b) Observed the essential requirements of the law; and,
- (c) Supported its decision by substantial competent evidence contained within the record.

(3) The Request is hereby **APPROVED/DENIED**.

**Section 4. Effective Date.** This Resolution shall not take effect until after both thirty (30) days following the date it is filed with the Village Clerk, during which time the Request herein shall be subject to appeal as provided in the Code; and following the thirty (30) days, this resolution shall not be effective or acted upon by the Applicant until forty-five (45) days following the rendition to the Department of Commerce (DOC), pursuant to Chapter 9J-1 of the Florida Administrative Code. During those forty-five (45) days, the DOC may appeal this resolution to the Florida Land and Water Adjudicatory Commission, and that such an appeal stays the effectiveness of this Resolution until the appeal is resolved by agreement or order.

**Remainder of the page intentionally left blank.**

Motion to adopt by\_\_\_\_\_, seconded by\_\_\_\_\_.

**FINAL VOTE AT ADOPTION**

Mayor Sharon Mahoney  
Vice Mayor Don Horton  
Councilman Steve Friedman  
Councilwoman Deb Gillis  
Councilwoman Anna Richards

**PASSED AND ADOPTED THIS 25<sup>TH</sup> DAY OF JULY 2025.**

\_\_\_\_\_  
SHARON MAHONEY, MAYOR

ATTEST:

\_\_\_\_\_  
MARNE MCGRATH, VILLAGE CLERK

APPROVED AS TO FORM AND LEGALITY  
FOR THE USE AND BENEFIT OF  
ISLAMORADA, VILLAGE OF ISLANDS:

\_\_\_\_\_  
JOHN QUICK, VILLAGE ATTORNEY

This Resolution was filed in the Office of the Village Clerk of this \_\_\_\_ day of \_\_\_\_\_, 2024.



# Monroe County, FL

Layers Map

Search Sales Search Results Sales Results Report Home Tax Estimator Homestead Fraud

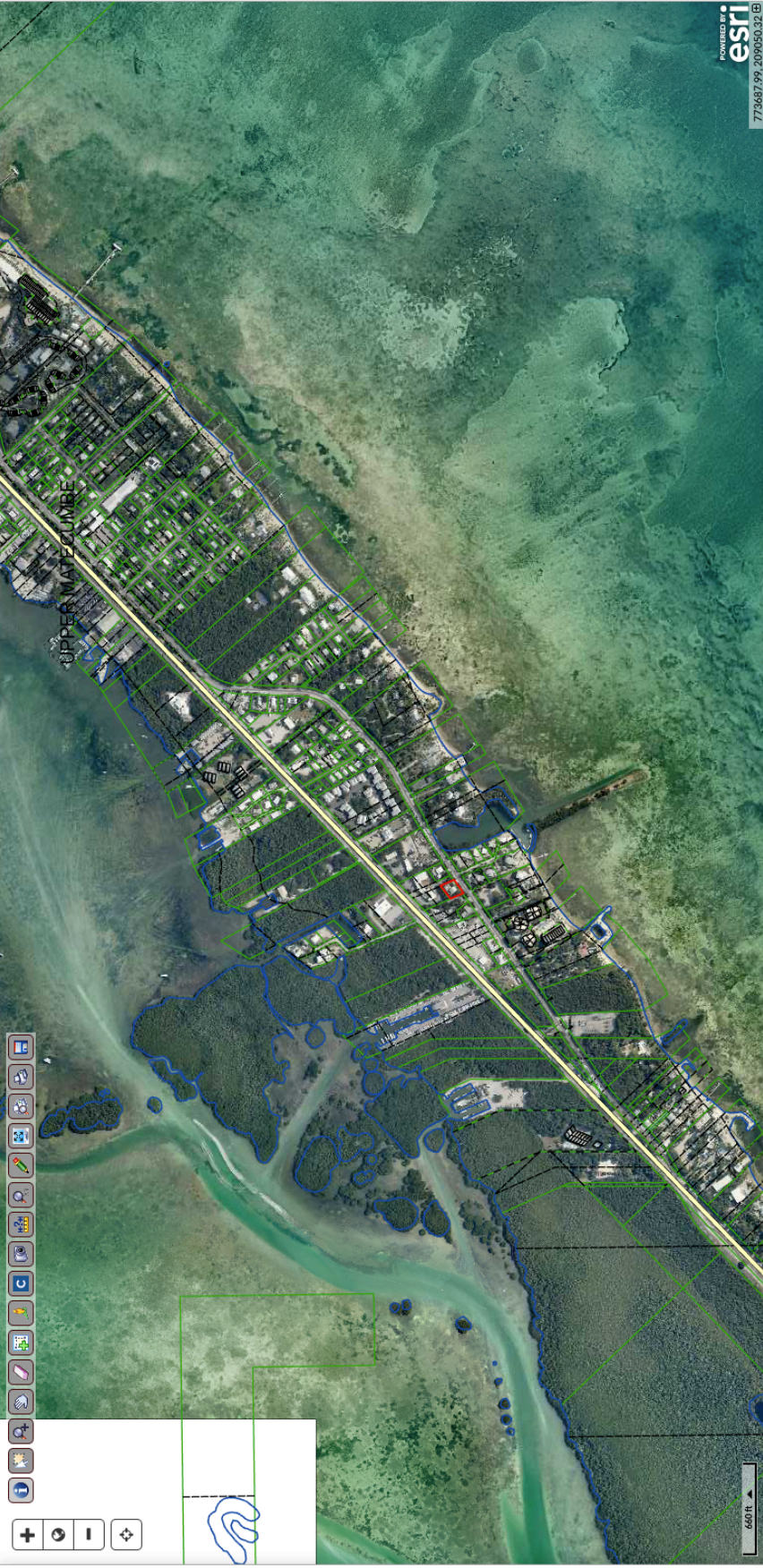
Log In Search

search...

- Layer List Legend
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  - [Tangible Property Search](#)
  - [View Map](#)

- Layers:
- ☒ Annotation
  - ☐ Buildings
  - ☒ Major Roads
  - ☒ Centerline
  - ☒ Easements
  - ☒ Hooks
  - ☒ Lot Lines
  - ☒ Road Center
  - ☒ Rights of Way
  - ☐ Section Lines
  - ☐ Shoreline
  - ☒ Condo Building
  - ☒ Qualified Condo Sales
  - ☒ Qualified Parcel Sales
  - ☐ Conservation Easement
  - ☐ FEMA Flood
  - ☒ Key Names
  - ☒ Subdivisions
  - ☒ Parcels

- Personal Property
- ☐ Section Poly
  - ☒ County Outline
  - ☒ 2025 Aerial Photography
  - ☐ 2024 Aerial Photography
  - ☐ 2023 Aerial Photography
  - ☐ 2022 Aerial Photography
  - ☐ 2021 Aerial Photography
  - ☐ 2018 Aerial Photography
  - ☐ 2015 Aerial Photography
  - ☐ 2012 Aerial Photography
- [Restore Layer Defaults](#)



Parcel ID 00096200-000000  
Sec/Twp/Rng 05/64/37  
Property Address 80951 OLD HWY  
UPPER MATECUMBE KEY  
50V1  
District 5 64 37 ISLAND OF UPPER MATECUMBE PB1-41 PT LOT 6 OR286-169/170 OR322-21/24 OR799-260 OR816-175/175SR/5 OR1655-1908/09QC OR1659-1923D/C OR2051-2400/01C OR2124-653/54 OR2299-874 OR2803-886/ET/ADM  
Brief Tax Description 5 64 37 ISLAND OF UPPER MATECUMBE PB1-41 PT LOT 6 OR286-169/170 OR322-21/24 OR799-260 OR816-175/175SR/5 OR1655-1908/09QC OR1659-1923D/C OR2051-2400/01C OR2124-653/54 OR2299-874 OR2803-886/ET/ADM  
(Note: Not to be used on legal documents)

Alternate ID 1111783  
Class MULTIFAMILY DUPLEX

Owner Address ESSLINGER PATRICIA S  
80951 Old Hwy  
Islamorada FL 33036

Results:  
Parcel ID: 00096200-000000  
Alt Id: 1111783  
Address: 80951 OLD HWY  
Owner: ESSLINGER PATRICIA S  
[View Report](#) | [Search Map](#)



# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00096200-000000  
**Account#** 1111783  
**Property ID** 1111783  
**Millage Group** 50VI  
**Location** 80951 OLD Hwy, UPPER MATECUMBE KEY  
**Address**  
**Legal** 5 64 37 ISLAND OF UPPER MATECUMBE PB1-41 PT LOT 6 OR286-169/170 OR322-21/24 OR799-260 OR816-1751/1752R/S OR1655-1908/09QC OR1659-1923D/C OR2051-2400/01C OR2124-653/54 OR2299-874 OR2803-886LET/ADM  
**Description**  
 (Note: Not to be used on legal documents.)  
**Neighborhood** 4450  
**Property Class** MULTI-FAMILY DUPLEX (0802)  
**Subdivision**  
**Sec/Twp/Rng** 05/64/37  
**Affordable Housing** No



### Owner

ESSLINGER PATRICIA S  
 80951 Old Hwy  
 Islamorada FL 33036

### Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$241,922	\$230,926	\$233,675	\$198,073
+ Market Misc Value	\$18,001	\$16,045	\$15,528	\$9,012
+ Market Land Value	\$244,087	\$246,072	\$204,482	\$169,824
= Just Market Value	<b>\$504,010</b>	<b>\$493,043</b>	<b>\$453,685</b>	<b>\$376,909</b>
= Total Assessed Value	<b>\$247,834</b>	<b>\$240,616</b>	<b>\$386,306</b>	<b>\$351,187</b>
- School Exempt Value	(\$30,000)	(\$30,000)	\$0	\$0
= School Taxable Value	<b>\$217,834</b>	<b>\$210,616</b>	<b>\$453,685</b>	<b>\$376,909</b>

## Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$244,087	\$241,922	\$18,001	\$504,010	\$247,834	\$30,000	\$217,834	\$256,176
2023	\$246,072	\$230,926	\$16,045	\$493,043	\$240,616	\$30,000	\$210,616	\$252,427
2022	\$204,482	\$233,675	\$15,528	\$453,685	\$386,306	\$0	\$453,685	\$0
2021	\$169,824	\$198,073	\$9,012	\$376,909	\$351,187	\$0	\$376,909	\$0
2020	\$169,824	\$147,986	\$1,451	\$319,261	\$319,261	\$0	\$319,261	\$0
2019	\$168,455	\$150,262	\$1,509	\$320,226	\$320,226	\$0	\$320,226	\$0
2018	\$160,265	\$150,262	\$1,567	\$312,094	\$312,094	\$0	\$312,094	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES HWY (080H)	11,180.00	Square Foot	0	0

## Buildings

Building ID	6883	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1963
Building Type	M.F. - R2 / R2	EffectiveYearBuilt	2010
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	1653	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	METAL
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	190	Bedrooms	2
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	16	Grade	500
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,200	1,200	140
PTO	PATIO	453	0	182
TOTAL		1,653	1,200	322

## Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1995	2006	2 x 5	1	10 SF	2
FENCES	2020	2021	6 x 215	1	1290 SF	2
RW2	2021	2023	1 x 80	1	80 SF	5
TIKI	2021	2023	35 x 11	1	385 SF	5
FENCES	2020	2021	6 x 115	1	690 SF	2
RES POOL	2024	2025	11 x 20	1	220 SF	5
CUSTOM PATIO	2024	2025	0 x 0	1	600 SF	4

## Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
5/25/2007	\$282,500	Warranty Deed		2299	874	H - Unqualified	Improved		
6/14/2005	\$445,000	Warranty Deed		2124	653	Q - Qualified	Improved		

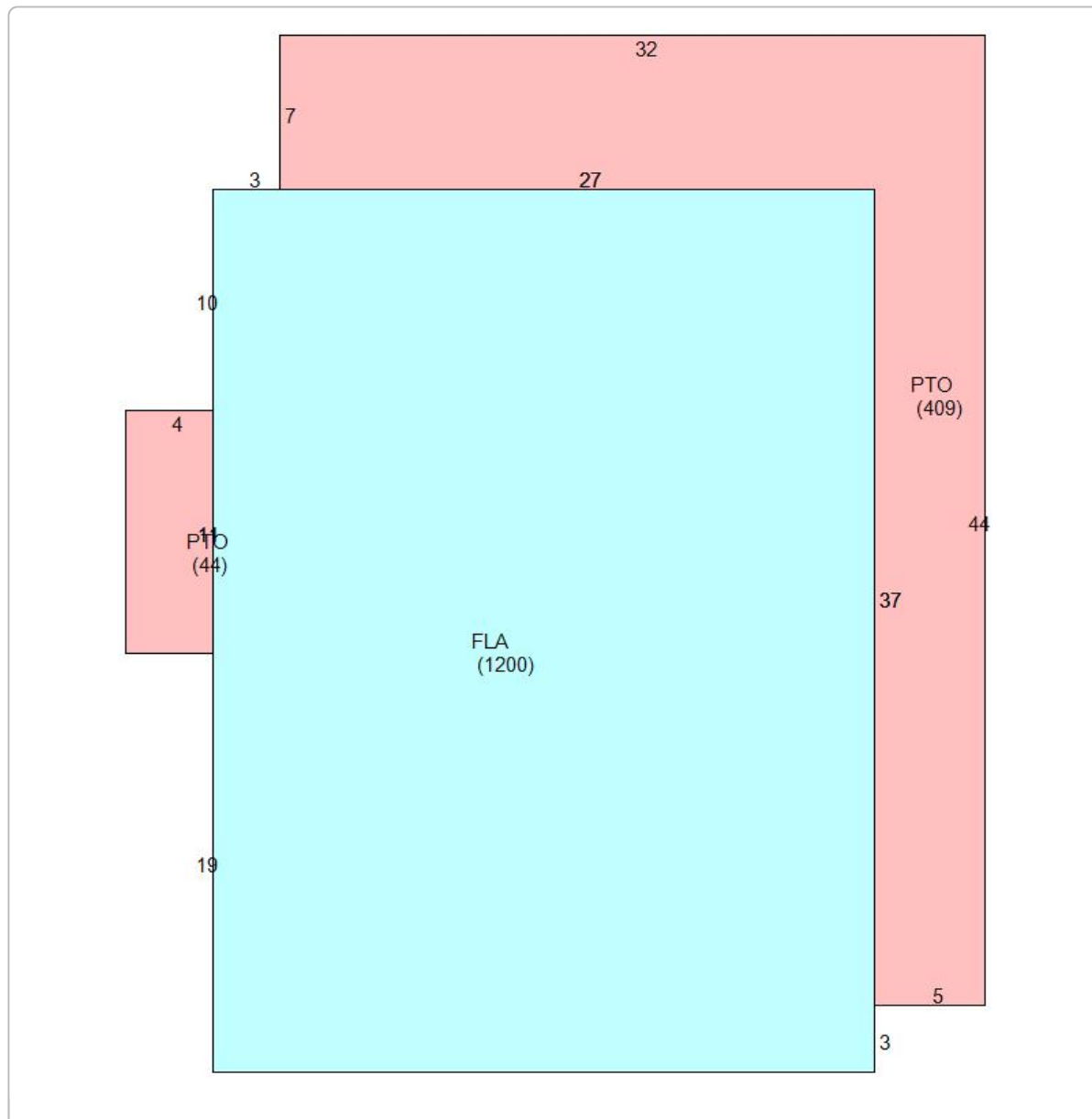
## Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
PRMCH202401077	10/16/2024	Active	\$5,725	Residential	NORTH APARTMENT REPLACEMENT OF A 1.5 TON 16.0 SEER 2 RUUD FRONT RETURN EQUIPMENT 16.0 SEER 2 AIR HANDLER AND CONDENSING UNIT
PRBLD202300933	10/19/2023	Completed	\$3,500	Residential	ATF PERMIT- INSTALL 404 SF CONCRETE SLAB UNDER EXISTING CHICKEE
PRBLD202201490	04/05/2023	Completed	\$75,500	Residential	20' X 12' IN GROUND POOL W/ 12" X 24" BOARDER
PRMCH202100996	07/29/2021	Completed	\$4,465	Residential	REPLACE A/C 1.5 TON 16 SEER
PRBLD202001271	06/15/2021	Completed	\$10,500	Residential	2 CHICKEE HUTS 9X36 AND 11X35
PRBLD202000124	02/26/2020	Completed	\$3,500	Residential	R/R 115 LF OF WOOD 6' HIGH FENCE, INSTALL 215 LF OF NEW 6' HIGH WOOD FENCING
PRRFG201700370	03/08/2017	Completed	\$5,000	Residential	R/R ROOF - (METAL)
20062473	11/01/2006	Completed	\$1		WOOD FENCE/20062474 RENEWAL OF EXPIRED PERMIT
2006575	03/16/2006	Completed	\$1		WOOD FENCE/PERMIT 20062474 RENEWAL OF THIS EXPIRED PERMIT
20052795	02/28/2006	Completed	\$1		ENCLOSE EXISTING PORCH
20051905	09/27/2005	Completed	\$1		INTERIOR REMODEL EXTERIOR PAINT/WINDOWS/DOORS

## View Tax Info

[View Taxes for this Parcel](#)

## Sketches (click to enlarge)



## Photos



## Map



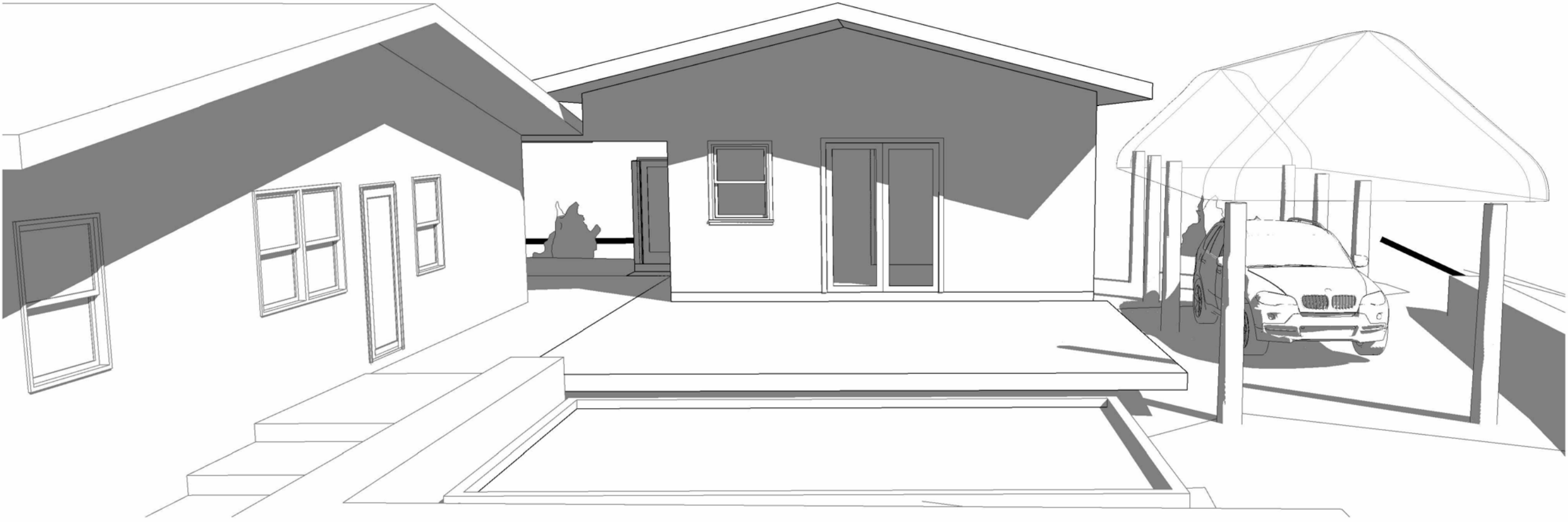
## TRIM Notice



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# 80951 OLD HIGHWAY ADDITION



**LEGAL DESCRIPTION:**  
5 64 37 ISLAND OF UPPER MATECUMBE PB1-41  
PT LOT 6OR286-169/170 OR322-21/24  
OR799-260 OR816-1751/1752R/S  
OR1655-1908/09QC  
OR1659-1923D/COR2051-2400/01C  
OR1214-653/54 OR2299-874  
OR2803-886LET/ADM

PARCEL # 00096200-000000  
ALT KEY: 1111783

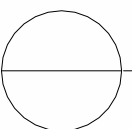
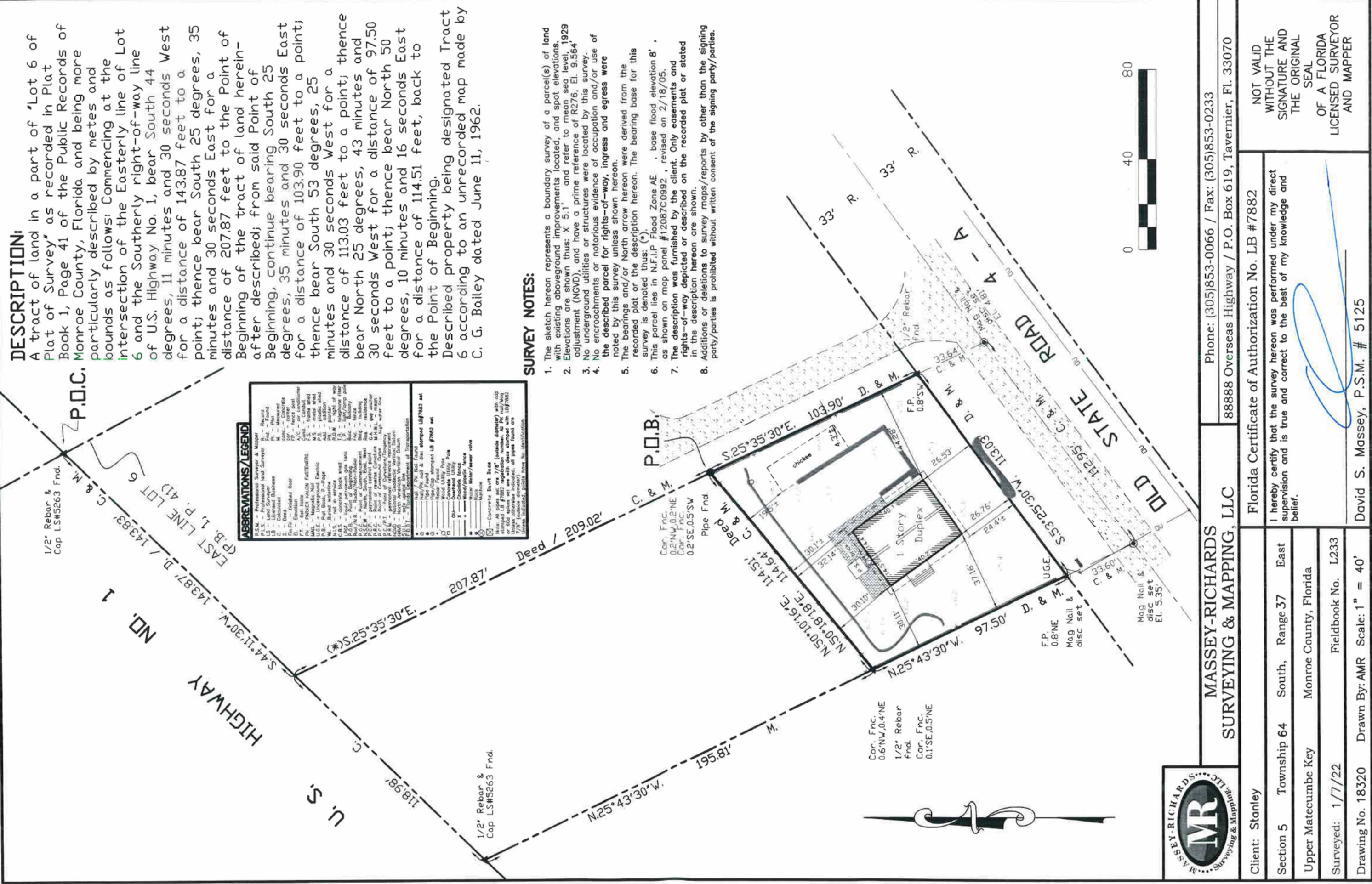
**ZONING:**  
SETTLERS RESIDENTIAL SR  
  
**BUFFERS:**  
114 ft. Rear property line - 7 Canopy trees / 4 Understory trees / 32 shrubs  
103 ft. Side property line - 7 Canopy trees / 4 Understory trees / 29 shrubs  
97 ft. Side property line - 6 Canopy trees / 3 Understory trees / 27 shrubs

**DESIGN CRITERIA:**  
  
FLORIDA BUILDING CODE 2023  
WINDSPEED = 180 MPH/ASCE 7  
FLOOR LIVE LOAD = 40 PSF  
ROOF LIVE LOAD = 55 PSF  
FLOOR DEAD LOAD = 25 PSF  
ROOF DEAD LOAD = 25 PSF  
EXPOSURE = "D"  
IMPORTANCE FACTOR = 1.0  
INTERNAL PRESSURE COEFFICIENT = 0.18

**FLOOD ZONE:**  
AE 8' NGVD  
DFE 9' NGVD  
  
**BUILDING AREA:**  
EXISTING A/C AREA: 1,200 SF  
NEW A/C AREA: 500 sf  
TOTAL CONDITIONED AREA: 1,700 SF  
  
CONSTRUCTION TYPE 2

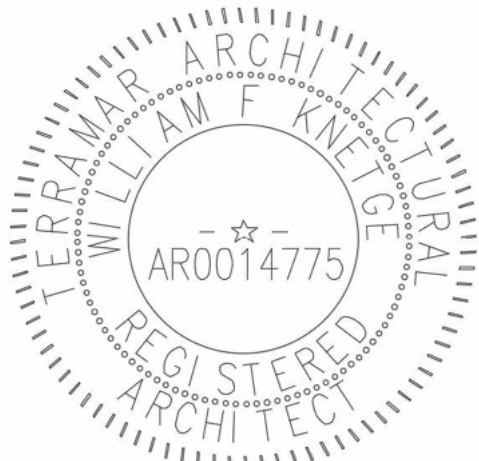
**SCOPE OF WORK:**  
1. NEW 500 SF CONCRETE & CMU ADDITION ( BEDROOM & BATHROOM).  
2. CONNECT TO EXISTING SEWER, ELECTRICAL AND WATER.

SHEET INDEX	
Sheet Number	Sheet Name
GENERAL	
T1.0	Cover Sheet
T2.0	Specifications
T3.0	Specifications
ARCHITECTURAL	
C1.0	Site Plan
ARCHITECTURAL	
A1.0	Site & 1st Floor Plan
A2.0	Section
A3.0	Exterior Elevations
STRUCTURAL	
S1.0	Foundation Plan
S2.0	First Flr Struct Plan
ELEC MECH PLUMB DRAWINGS	
E1.0	Electrical Plans
MP1	HVAC & Plumbing Plans



**TERRA MAR  
ARCHITECTURAL INC.**

11270 6th Ave Gulf  
Marathon, FL 33050  
305-766-9301  
architect.terramar@gmail.com  
www.terramararchitectural.com



This item has been digitally signed and sealed by William Knetge of Terra Mar Architectural, Inc. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

Cover Sheet

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

0096200-000000

T1.0



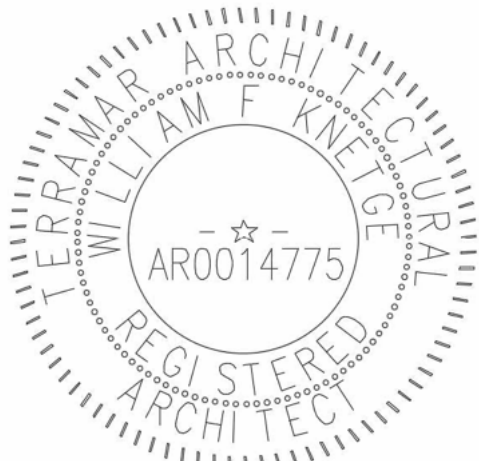






**TERRA MAR  
ARCHITECTURAL INC.**

11270 6th Ave Gulf  
Marathon, FL 33060  
305-766-9301  
architect.terramar@gmail.com  
www.terramarchitectural.com



This item has been digitally signed and sealed by William Knetge of Terra Mar Architectural, Inc. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

Specifications

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

0096200-000000

T3.0

DIVISION 07 THERMAL & MOISTURE PROTECTION

CFCI 07 21 13 BOARD INSULATION

EXTERIOR WALLS TO HAVE R-5, 3/4" RIGID POLYISO, FOIL BACKED INSULATION, DYPLAST PRODUCTS "DP SHIELD" OR EQUAL.  
DYPLAST PRODUCTS, 12501 NW 38TH AVE, MIAMI, FL 33054 (305) 921-0100  
www.dyplastproducts.com

CFCI 07 21 16 BLANKET INSULATION

ROOF ASSEMBLY SHALL INCLUDE R-30 "CERTAPRO" THERMAL EXTENDED RANGE PAPERLESS BATTS, AS PRODUCED BY CERTAINTeed CORP. OR APPROVED EQUAL. INSULATION TO BE INSTALLED AT TOP CHORD OF TRUSS, PER MANUFACTURERS REQS.  
CERTAINTeed CORP. www.certainteed.com

ALTERNATE: ICYNENE OPEN CELL INSULATION OF THICKNESS TO PROVIDE R-30 OR EQUAL.

CFCI 07 92 00 SEALANTS

EXTERIOR SEALANTS SHALL BE DOW CORNING SILICONE BUILDING SEALANT OR APPROVED EQUAL. Install per manufacturer requirements.  
DOW CORNING CORPORATION www.dowcorning.com

DIVISION 08 OPENINGS

CFCI 08 11 20 VINYL DOORS

EXTERIOR GLASS DOORS SHALL BE PGT VINYL IMPACT . INSTALL PER MIAMI-DADE NOA.  
WWW.PGTWINDOWS.COM

CFCI 08 14 20 WOOD DOORS

INTERIOR WOOD DOORS SHALL BE BY ETO DOORS AS SELECTED BY OWNER. TRIM TO MATCH.  
WWW.ETODOORS.COM

CFCI 08 51 13 VINYL WINDOWS

EXTERIOR WINDOWS SHALL BE PGT VINYL IMPACT WINDOWS. INSTALL PER MIAMI-DADE NOA.  
WWW.PGTWINDOWS.COM

DIVISION 09 FINISHES

CFCI 09 24 00 - PORTLAND CEMENT PLASTER (STUCCO)

PORTLAND CEMENT STUCCO AS MANUFACTURED BY CEMEX. 2 COAT MIN. 5/8" THICKNESS.

CEMEX, Inc. U.S. OPERATIONS HEADQUARTERS  
929 Gessner Rd., Suite 1900, HOUSTON, TEXAS 77024  
(713) 650-6200, (800) 999-8529 www.cemexusa.com

CFCI 09 25 40 - STUCCO ACCESSORIES

PROVIDE 1/4" EXPANSION TRIM LEVEL WITH 1ST FLOOR LINE.

PLASTIC COMPONENTS INC. 9051 NW 97th Terrace Miami, FL 33178 800.327.7077 •  
Fax 305.887.2452 • www.plasticcomponents.com

CFCEI 09 67 00 FLUID APPLIED WATERPROOFING

WHERE INDICATED ON PLANS, ROOF, BALCONIES COMPOSED OF CONCRETE SHALL RECEIVE LATICRETE "HYDROBAN" ROLL-ON WATERPROOFING MEMBRANE. PRODUCTS SHALL BE INSTALLED OVER CLEAN, DRY SURFACE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

LATICRETE, INC.  
WWW.LATICRETE.COM

CFCEI 09 29 00 GYPSUM BD

TYPICAL INTERIOR GYPSUM BOARD SHEATHING SHALL BE GEORGIA PACIFIC "DENS ARMOR PLUS" TYPE X 5/8" FIREGUARD PAPERLESS GYPSUM BOARD OR APPROVED EQUAL. TILE BACKER IN SHOWERS/ WET AREAS SHALL BE GEORGIA PACIFIC "DENS SHIELD" TYPE X 5/8" TILE BACKER OR APPROVED EQUAL. Install per manufacturer requirements.

GEORGIA PACIFIC CO.  
WWW.GP.COM

CFCI 09 24 00 - PORTLAND CEMENT PLASTER (STUCCO)

PORTLAND CEMENT STUCCO AS MANUFACTURED BY CEMEX. 2 COAT MIN. 5/8" THICKNESS.  
INSTALLATION SHALL COMPLY W/ ASTM C 926 & ASTM C 1063.

CEMEX, Inc. U.S. OPERATIONS HEADQUARTERS  
929 Gessner Rd., Suite 1900, HOUSTON, TEXAS 77024  
(713) 650-6200, (800) 999-8529 www.cemexusa.com

CFCI 09 25 40 - STUCCO ACCESSORIES

STUCCO BANDS; EXPANSION JOINTS LAP SIDING TRACK AND TERMINATIONS SHALL BE PLASTIC COMPONENTS VINYL.

PLASTIC COMPONENTS INC. 9051 NW 97TH TERRACE MIAMI, FL 33178 800.327.7077 •  
FAX 305.887.2452 • WWW.PLASTICCOMPONENTS.COM

CFCI 09 91 00 - PAINTS

EXTERIOR PAINT FOR APPLICATION ON STUCCO SHALL BE BEHR MASONR, STUCCO & BRICK PAINT No. 68.  
BEHR PROCESS CORPORATION, 3400 W. SEGERSTROM AVE., SANTA ANA, CA 92704  
www.behr.com

DIVISION 11 EQUIPMENT

CFCI 11 30 00 APPLIANCE SPECIALTIES

CEILING FANS SHALL BY HUNTER FAN CO. WITH MODEL SELECTED BY OWNER. CEILING FANS SHALL BE INSTALLED WITH COASTAL TRIM KIT.

DIVISION 22 PLUMBING

CFCI 22 11 00 WATER DISTRIBUTION PIPING

RIGID: RIGID WATER DISTRIBUTION PIPING SHALL BE NOVEON "FLOWGUARD GOLD" CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPING. "FLOWGUARD GOLD CTS" CPVC PIPE AND FITTINGS SHALL CONFORM TO ASTM D 2846. PIPE AND FITTINGS SHALL BE MANUFACTURED TO THE NOMINAL DIMENSION CITED IN THE APPLICABLE ASTM STANDARD, AND BE THE PRODUCT OF ONE MANUFACTURER. FITTINGS SHALL BE INJECTION-MOLDED. ALL PIPE AND FITTINGS SHALL CONFIRM TO NATIONAL SANITARY FOUNDATION (NSF) STANDARD 14 AND 61.

ALT FLEXIBLE: FLEXIBLE PIPING SHALL BE IPEX "TEMPRITE" CROSS-LINKED POLYETHYLENE (PEX) FLEXIBLE PIPING AND SHALL BE CERTIFIED AS MEETING THE REQUIREMENTS OF ASTM F 876 AND F 877.

CFCI 22 13 16 SANITARY WASTE & VENT PIPING

PVC SCHEDULE 40. FITTINGS SHALL BE MANUFACTURED FROM VIRGIN RIGID PVC (POLYVINYL CHLORIDE) VINYL COMPOUNDS. PVC DWV FITTINGS SHALL CONFORM TO ASTM D 2665. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE MANUFACTURER. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES. ALL SYSTEMS SHALL UTILIZE A SEPARATE WASTE AND VENT SYSTEM. PIPE AND FITTINGS SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARD.

CFCI 22 42 10 RESIDENTIAL PLUMBING FIXTURES

BATHROOM, KITCHEN AND LAUNDORY FIXTURES SHALL BE BY KOHLER INC. MODELS SHALL BE SELECTED BY OWNER. PROVIDE TRIM KITS FOR ALL FIXTURES TO MATCH SELECTED FINISH.  
CONTRACTOR SHALL FLUSH ALL WATER LINES FREE OF DEBRIS AND SHALL SANITIZE THE LINES WITH BLEACH AS REQUIRED FLORIDA STATUTES.  
FLOW RATES (GPM) SHALL COMPLY WITH FLORIDA BUILDING CODE.

DIVISION 23 HVAC

CFCI 23 31 16 HVAC DUCTS

BATHROOM EXHAUST VENT SHALL BE VINYL FLEX.  
SEE MECHANICAL PLAN FOR SIZING.

CFCI 23 34 50 BATH EXHAUST FANS

SDD005A WHISPER GREEN SELECT. 80 CFM.  
PANASONIC VENTILATION 866-292-7282  
http://www.panasonic.com/business/building-products/ventilation-systems/products/whisper-green-select.asp

CFCEI 23 81 00 AIR CONDITIONING

MINISUBISHI MINI SPLIT SYSTEM AIR CONDITIONING AS SPECIFIED ON PLANS.  
PROVIDE 3/4" INSULATED CONDENSATE LINE TO DRAIN AT EXTERIOR PER F.B.C. U.N.O.  
PROVIDE ELECHICAL DISCONNECT AT CONDENSOR. DISCONNECT TO BE RUN FROM METER DISTRIBUTION PANEL. CONDENSER ATTACHMENT TO BE DESIGNED TO WITHSTAND 180 MPH. WIND 3 SEC GUST. WHERE REQUIRED AIR HANDLER SHALL BE RAISED ON WELDED ALUM. STAND.  
CONDENSATE LINES SHALL BE INSTALLED WITH COUPLERS TO ALLOW REMOVAL, PORT FOR ACCESSIBLE CLEANING, OVERFLOW SHUT OFF SWITCH.

IVISION 26 ELECTRICAL

CFCI 25 05 00 COMMON ELECTRICAL MATERIALS AND METHODS

ALL EXTERIOR CONDUIT SHALL BE WATER TIGHT RIGID PVD CONDUIT.  
ALL INTERIOR CONDUIT SHALL BE Carlon "Flex-Plus Blue" Electrical Nonmetallic Tubing AND SHALL CONFORM TO 2004 NEC, Article 362.  
ALL DISTRIBUTION PANELS, DISCONNECTS SHALL BE MANUFACTURED BY SQUARE D.  
ALL LOW VOLTAGE WIRING SHALL BE RUN IN NM CONDUIT.  
ALL EXTERIOR DISTRIBUTION BOXES SHALL BE NEMA 4.

CFCI 26 09 23 LIGHTING CONTROL DEVICES

LIGHTING CONTROL DEVICES AND WALL PLATES SHALL BE LEVITON "DECORA" DEVICES, WITH NYLON WALL PLATES.

CFCI 26 50 00 LIGHTING

LIGHTING SHALL BE INSTALLED PER NEC REQUIREMENTS. ALL EXTERIOR HARDWARE SHALL BE NON-METALLIC. ALL FIXTURES SHALL BE LAMPED AND OPERATIONAL. PROVIDE LATEX CAULK AT ALL EXTERIOR ENDS OF CONDUIT TO PREVENT CONDENSATION.

DIVISION 31 EARTHWORK

CFCI 31 62 00 PILES

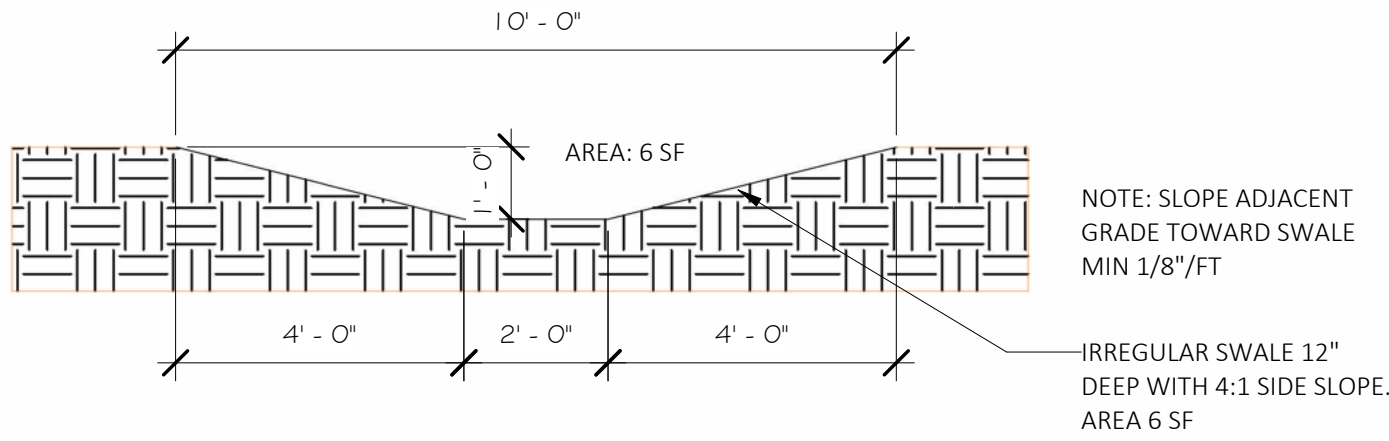
1. PILE FOUNDATION; SEE STRUCTURAL PLANS.  
(I) SUPPLY AND INSTALL AUGERCAST 7,000 PSI CONCRETE PILE FOUNDATION TO PROVIDE A LOAD CAPACITY OF 30,000 LBS PER PILE MINIMUM.  
(II) SEE CONCRETE SPECIFICATION.  
2. CONTRACTOR TO ACQUAINT THEMSELF WITH THE SITE OF WORK.  
PRIOR TO THE SUBMISSION OF THE TENDER THE CONTRACTOR IS DEEMED TO HAVE VISITED THE SITE TO ACQUAINT HIMSELF WITH THE EXISTING SITE CONDITIONS, MEANS OF ACCESS, NATURE AND PROXIMITY OF ADJACENT PROPERTIES AND OTHER MATTERS UABLE TO AFFECT THE OVERALL CONTRACT PRICE. THE AWARD OF THE CONTRACT SHALL BE BASED ON THE UNDERSTANDING THAT THE CONTRACTOR IS COMPLETELY FAMILIAR WITH THE CLIMATIC AND PHYSICAL CONDITIONS PREVAILING ON SITE. NO EXTRA PAYMENT WILL BE CONSIDERED AT A LATER DATE DUE TO THE CONTRACTOR'S FAILURE TO ALLOW FOR CONTINGENCIES ARISING FROM THE WORK AND THE NATURE OF EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL ENSURE THAT HIS SYSTEM AND METHOD OF PILE INSTALLATION IS SUITABLE AND SAFE FOR USE AT THE PROPOSED SITE OF WORK. THE CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY CIRCUMSTANCES WHICH, IN THE CONTRACTOR'S OPINION, INDICATE GROUND CONDITIONS THAT MAY DIFFER FROM THOSE EXPECTED BY HIM. THE CONTRACTOR'S REPORT SHALL BE IN THE FORM OF A WRITTEN NOTICE WHICH SHALL BE GIVEN TO THE ARCHITECT AT THE EARLIEST POSSIBLE TIME AFTER ENCOUNTERING SUCH CONDITIONS AND OBSTRUCTIONS.  
3. SYSTEMS AND NATURE OF NEIGHBORING BUILDINGS  
THE CONTRACTOR SHALL PAY VERY CAREFUL ATTENTION TO CONSTRUCTION CONSTRAINTS IMPOSED BY NEIGHBORING BUILDINGS. THE CONTRACTOR SHALL EXERCISE EXTRA CARE AND IMPLEMENT ADEQUATE MONITORING MEASURES WHEN CARRYING OUT HIS PILING OPERATIONS SO AS NOT TO DISTURB OR DAMAGE EXISTING ADJACENT PROPERTIES AND BUILDING FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR THE COST OF ANY CLAIMS FOR DAMAGE TO ADJACENT BUILDINGS AND FACILITIES ARISING FROM HIS EXECUTION OF THE FOUNDATION.  
4. AUGER SPOILS SHALL REMAIN ON SITE.  
5. CONTRACTOR SHALL PROVIDE PILE LOG TO ARCHITECT WITH THE FOLLOWING DATA: DEPTH, TIME & DATE, SITE LOCATION, OPERATOR CONTACT INFORMATION.



STORM WATER CALCULATION

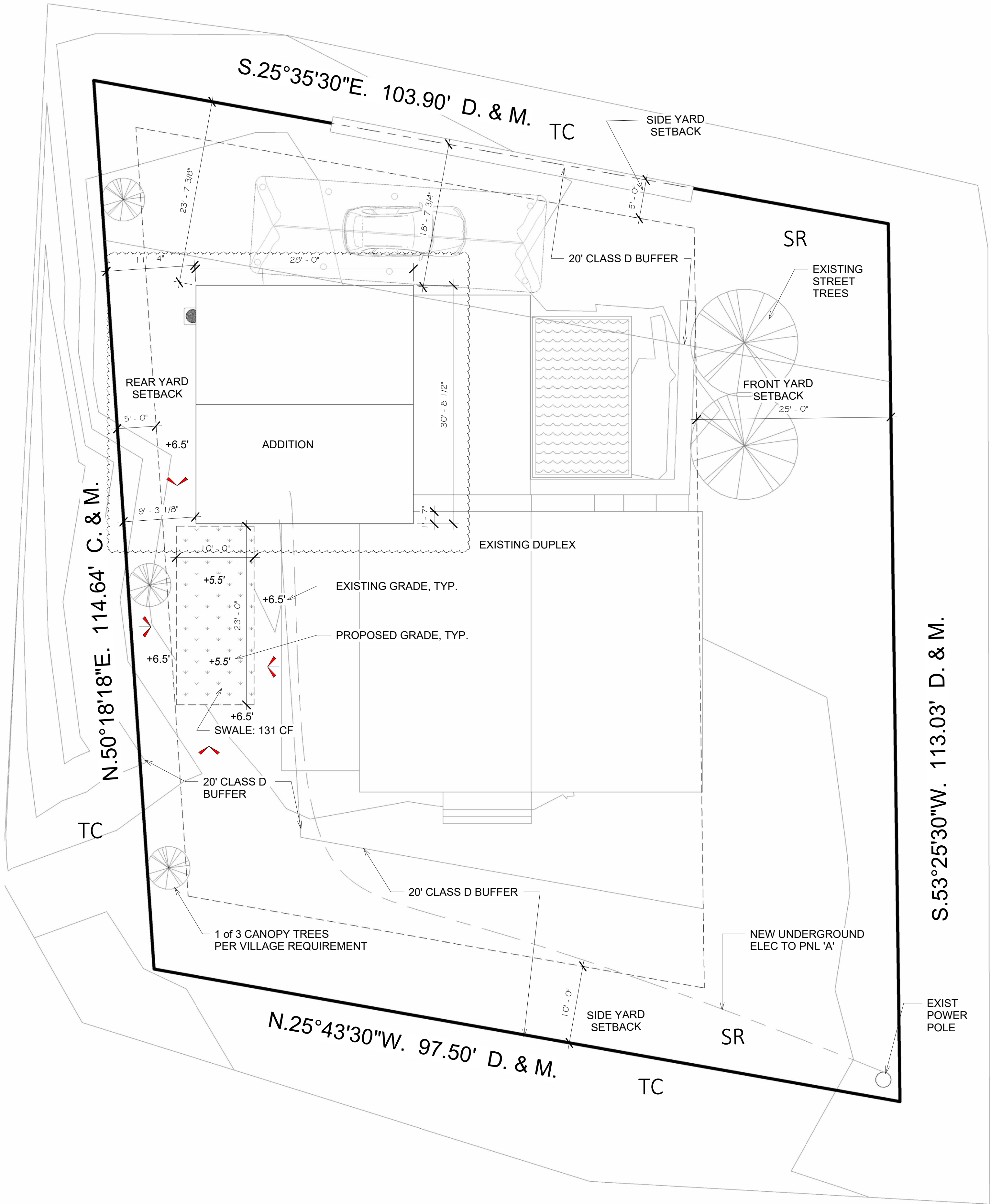
Previously Improved Site

- (I) New Impervious Area 1,258 ft<sup>2</sup>
- (J) Rainfall = 1.25"
- (K) Cubic Feet Required =  $\frac{\text{Impervious Area} \times \text{Rainfall}}{12} = \frac{1 \times J}{12} = \frac{131}{12}$  ft<sup>3</sup>
- SWALE: 131 CF/ 6 SF = 22 LF REQ'D  
23 LF PROVIDED



TYPICAL SWALE SECTION

- STORM WATER NOTES:**
1. SLOPE ALL GRADE MINIMUM 1/8 "/FT TOWARD YARD DRAINS AND AWAY FROM SHORELINE. SEE ARROW DIRECTION ON PLAN.
  2. NO FILL PROPOSED THIS PROJECT; ONLY FILL FROM SWALES.
  3. SEE SURVEY FOR EXISTING GRADES.
  4. SWALES SHALL BE PLANTED WITH SOD.
  5. GRADES SHOWN ARE PROPOSED; SEE SURVEY FOR EXISTING GRADES.

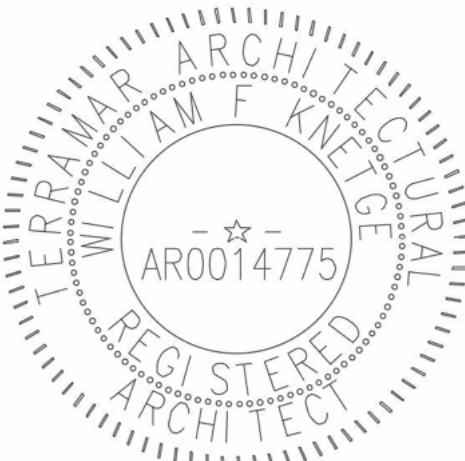


**SITE DATA**  
TOTAL LAND AREA: 11,180 SF  
  
NEW STRUCTURE TO DRIPLINE: 859 SF  
NEW DECK: 541 SF  
  
EXIST STRUCTURE TO DRIPLINE: 1,594 SF  
EXIST DECK, POOL, STEPS: 942 SF  
  
TOTAL IMPERVIOUS AREA: 3,794 SF  
34% COVERAGE; OPEN AREA 66%

- SITE PLAN NOTES:**
1. NO MODIFICATIONS TO EXISTING VEGETATION.
  2. SEE DEMOLITION PLAN FOR AREAS TO BE REMOVED.
  3. ELECTRICAL LOCATED BELOW FLOOD LEVEL SHALL BE SUBMERSIBLE PUMP CABLE W/ SOLID COPPER WIRE; CONDUIT SHALL BE NM WITH ONE SIZE INCREASE TO ALLOW FUTURE VACUUM.
  4. ALL BELOW FLOOD ELECTRICAL SHALL BE ON ONE CIRCUIT W/ DISCONNECT LOCATED ABOVE FLOOD ELEVATION.



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Site Plan

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

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C1.0



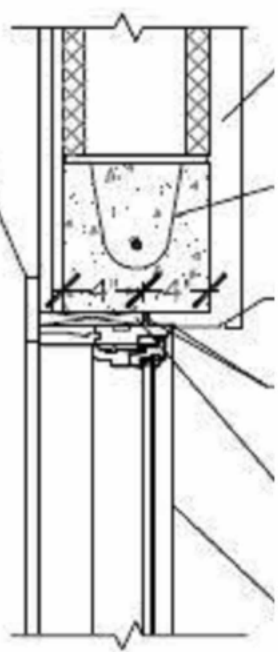
GENERAL ARCHITECTURAL NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
3. ALL WORK SHALL BE PLUMB AND LEVEL (WITHIN 1/4" BUBBLE) UNLESS NOTED OTHERWISE. ALL MITER JOINTS SHALL BE FREE OF GAPS AND VOIDS.
4. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
6. FINISHES SHALL BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
7. CONTRACTOR SHALL COORDINATE FLOORING AND STAIR HEIGHTS WITH OWNERS FINISH SELECTION.

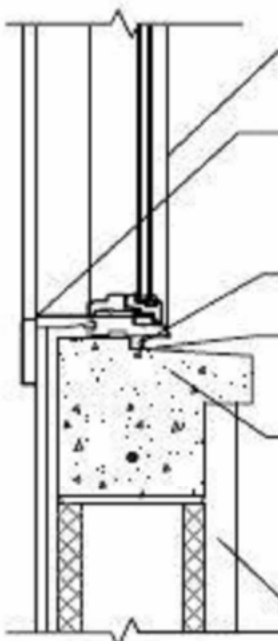
WINDOW AND DOOR NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE.
2. ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES
3. ALL WORK SHALL BE PLUMB AND LEVEL (WITHIN 1/4" BUBBLE) UNLESS NOTED OTHERWISE. ALL MITER JOINTS SHALL BE FREE OF GAPS AND VOIDS.
4. CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
5. INSTALL WINDOWS AND DOORS PER MANUFACTURERS REQUIREMENTS.
6. ALL OPENINGS SHALL RECEIVE PAINTABLE SILICONE PRIOR TO START OF WORK.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIOND PRIOR TO START OF WORK
8. PROVIDE LATICRETE HYDROBAN MEMBRANE AROUND ALL WINDOWS AND DOORS PER MANUF. REQUIREMENTS. ENSURE COMPLETE SEAL WITH SILICONE SEALANT AROUND PERIMETER AT JOINT BETWEEN PRODUCT AND STUCCO.
9. FINISHES SHALL BE SLECTED BY OWNER UNLESS OTHERWISE NOTED
10. WINDOW SIZES SHOWN ARE BASED ON EXISTING OPENINGS. SELECT CLOSEST STANDARD WINDOW SIZES OFFERED MY MANUFACTUREER. NOTIFY ARCHITECT IF SIZES DIFFER MORE THAN 2"
11. ALL WINDOWS AND DOORS SHALL BE SINGLE LITE. NO MUTTONS.
12. OWNER SHALL SELECT COLORS, WINDOW TINT AND FINISH OF ALL WINDOWS AND DOORS.
13. WINDOWS AND DOOR SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUE SHALL MATCH ENERGY CALCULATIONS.

WINDOW RETURNS AND SILL  
AS SELECTED BY OWNER



- 2 COAT STUCCO; 5/8" MIN. SEE ELEV FOR FINISH; PAINT PER SPECIFICATIONS
- PRE-CAST CONCRETE LINTEL TYPICAL.
- 1/4" DRIP STOP GROOVE IN STUCCO FLANGE SET IN BED OF CONTINUOUS SILICONE SEALANT. SCORE DRIP IN STUCCO W/ SEALANT
- 1 X 6 P.T. BUCK TYP. FASTEN PER PRODUCT APPROVAL
- IMPACT WINDOW; FASTEN TO STRUCTURE PER NOA REQS.

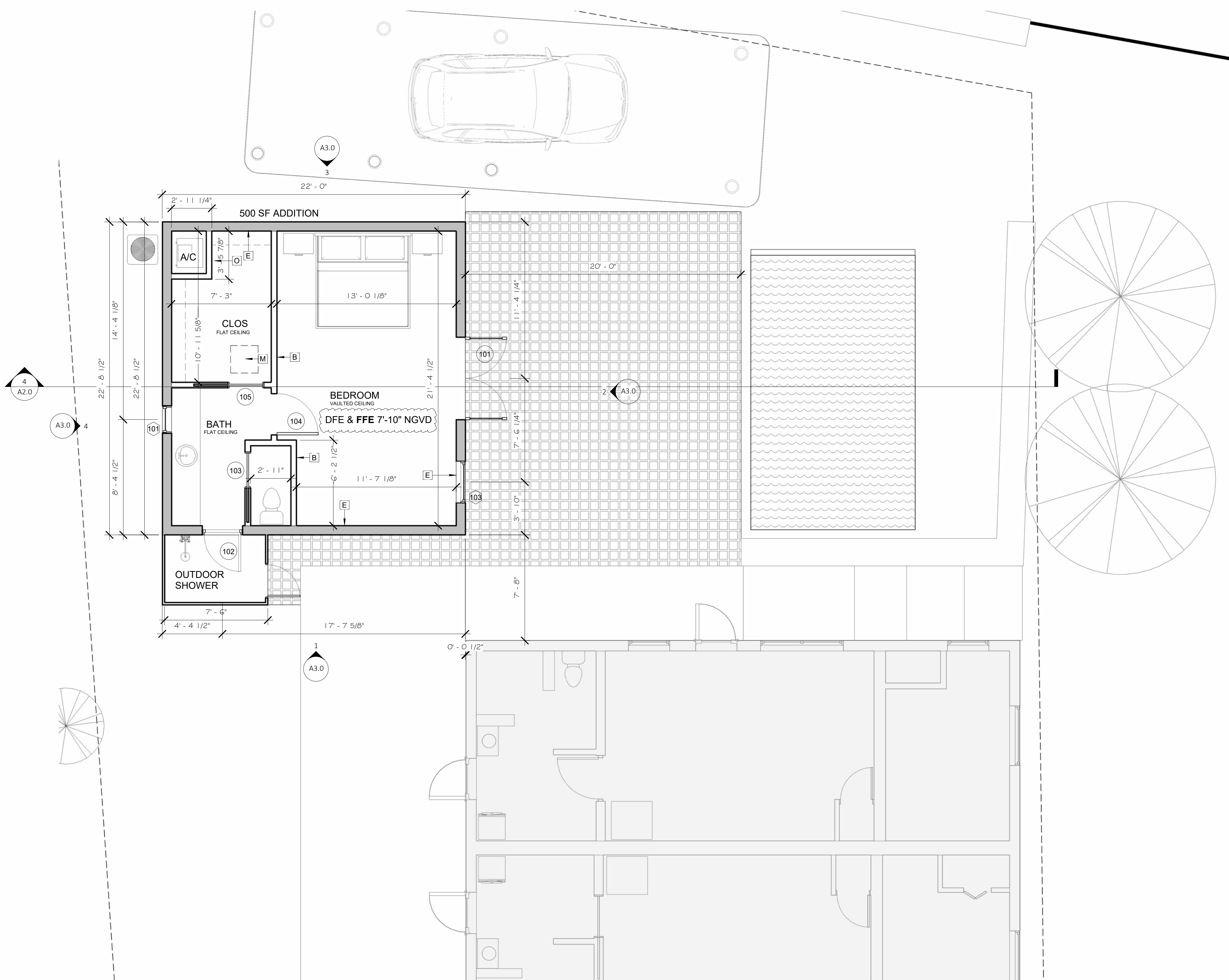


- IMPACT WINDOW; FASTEN TO STRUCTURE PER NOA REQS.
- IMPACT WINDOW; FASTEN TO STRUCTURE PER NOA REQS.
- FLANGE SET IN BED OF CONTINUOUS SILICONE SEALANT. ALUM PAN SILL FLASHING W/ END DAMS TO MATCH SILL PROFILE
- CONCRETE SILL TYPICAL
- 2 COAT STUCCO; 5/8" MIN SMOOTH FINISH, PAINT PER SPECIFICATIONS

3  
A1.0

WINDOW DETAILS

SCALE: NOT TO SCALE



1  
A1.0 FIRST FLOOR

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE										
Mark	TYPE	MANUFACTURER / MODEL	Dimensions			MATERIAL	GLAZING	NOTES	TEST PRESSURE PSF	DESIGN PRESSURE
			Width	Height	Thickness					
101	DBL FRENCH	MR GLASS	6'-0"	8'-0"	0'-2"	ALUM	IMPACT	EGRESS	+80/-80	+46/-50.4
102	FRENCH	MR GLASS	2'-10"	8'-0 3/4"	0'-1 29/32"	ALUM	IMPACT		+80/-80	+48.5/-54.5
103	INT-POCKET	TBD	2'-6"	8'-0"	0'-1 3/8"	WD				
104	SWING	TBD	3'-0"	8'-0"	0'-2"	WD				
105	INT-POCKET	TBD	2'-6"	8'-0"	0'-1 3/8"	WD				

WINDOW SCHEDULE									
Mark	Manufacturer	WINDOW TYPE	Material	Width	Height	Sill Height	Comments	Test Pressure PSF	Design Pressure PSF
101	MR GLASS	CSMNT	ALUMINUM	2'-0"	3'-0"	6'-0"		+80/-100	+51.2/-55.4
103	MR GLASS	SINGLE-HUNG	ALUMINUM	3'-0"	4'-0"	4'-0"		+80/-140	+50.7/-61.2

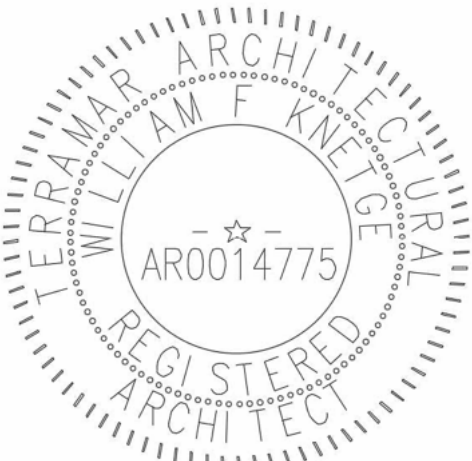
Key Value	Keynote Text
B	2 X 4 @ 16" O.C. STUD WALL WITH 5/8" GYP BD BOTH SIDES. UL-U305 (1 HR) OR R302.6
E	8" THK CMU WALL, INTERIOR: 1 X 2 PT FURR STRIPS, 3/4" INSUL BD, 5/8" GYP BD, PAINT. EXTERIOR: 5/8" MIN STUCCO, PAINT
M	22" x 24" ATTIC ACCESS PANEL
O	PROVIDE ACCESS PANEL TO HVAC EQUIPMENT

REV 050125: LOWERED FLOOR ELEVATION BELOW DFE



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Site & 1st Floor Plan

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

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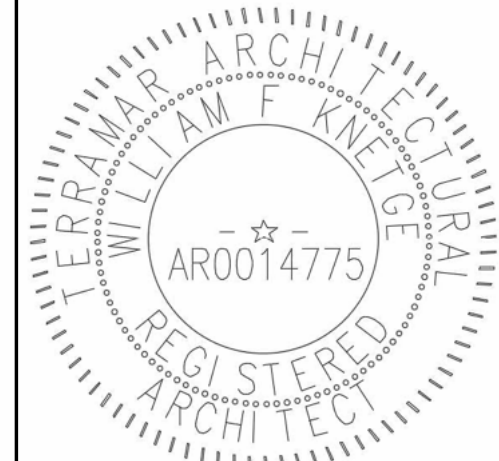
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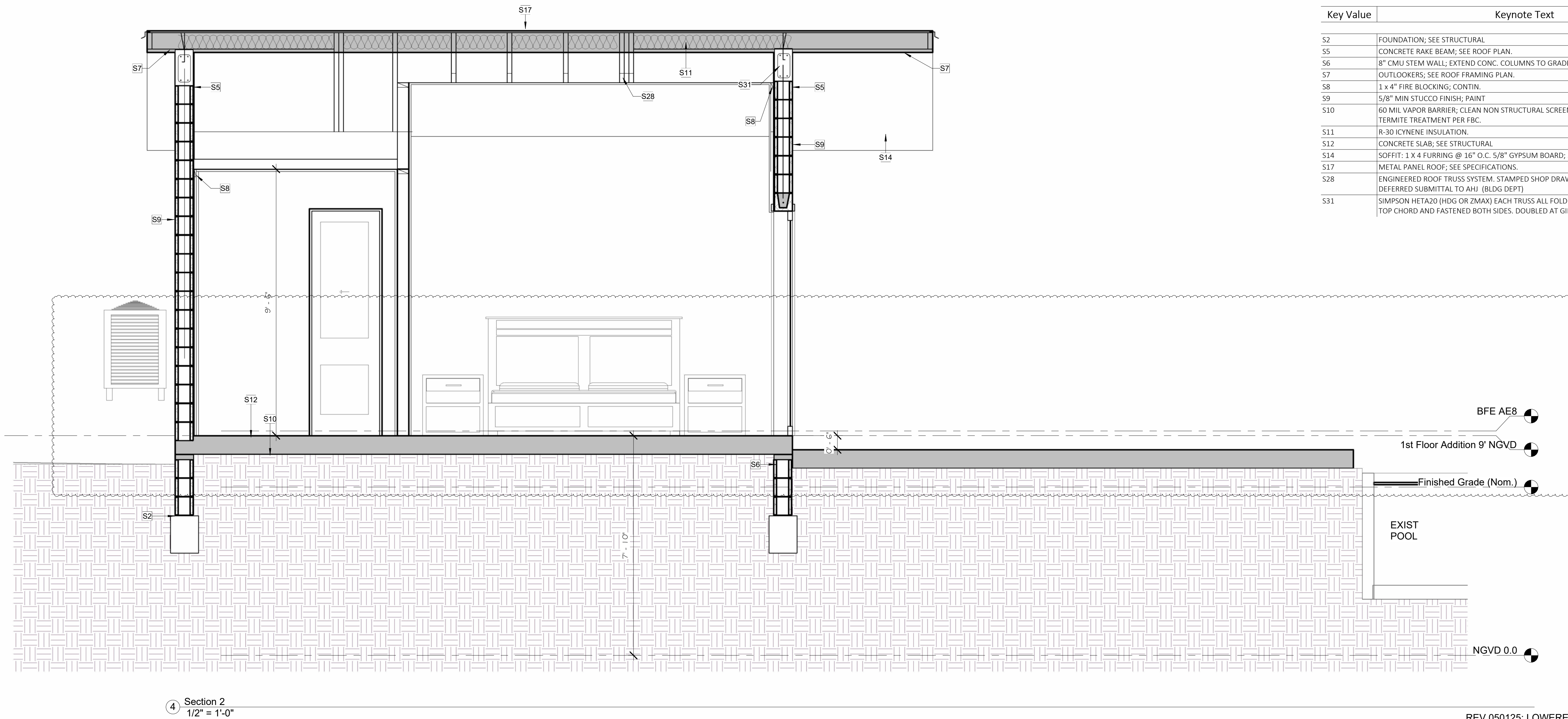
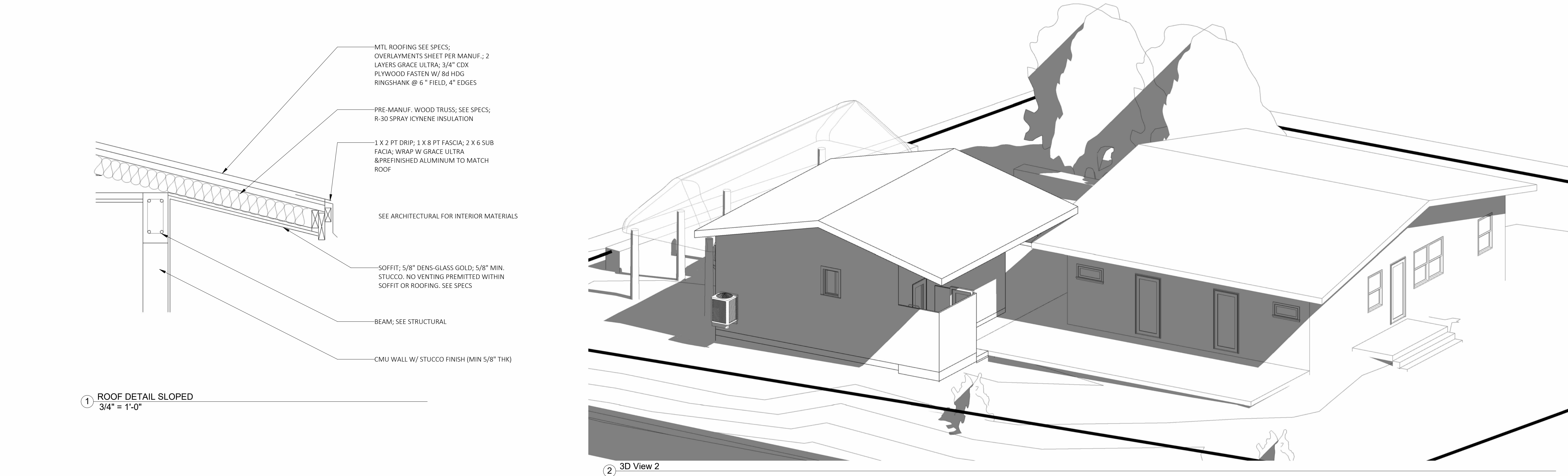
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Key Value	Keynote Text
S2	FOUNDATION; SEE STRUCTURAL
S5	CONCRETE RAKE BEAM; SEE ROOF PLAN.
S6	8" CMU STEM WALL; EXTEND CONC. COLUMNS TO GRADE BEAM.
S7	OUTLOOKERS; SEE ROOF FRAMING PLAN.
S8	1 x 4" FIRE BLOCKING; CONTIN.
S9	5/8" MIN STUCCO FINISH; PAINT
S10	60 MIL VAPOR BARRIER; CLEAN NON STRUCTURAL SCREENING SAND COMPACTED; TERMITE TREATMENT PER FBC.
S11	R-30 ICYNENE INSULATION.
S12	CONCRETE SLAB; SEE STRUCTURAL
S14	SOFFIT: 1 X 4 FURRING @ 16" O.C. 5/8" GYPSUM BOARD; 5/8" STUCCO; PAINT.
S17	METAL PANEL ROOF; SEE SPECIFICATIONS.
S28	ENGINEERED ROOF TRUSS SYSTEM. STAMPED SHOP DRAWINGS BY MFR. WILL BE A DEFERRED SUBMITTAL TO AHJ (BLDG DEPT)
S31	SIMPSON HETA20 (HDG OR ZMAX) EACH TRUSS ALL FOLDED COMPLETELY OVER TRUSS TOP CHORD AND FASTENED BOTH SIDES. DOUBLED AT GIRDERS.

BFE AE8

1st Floor Addition 9' NGVD

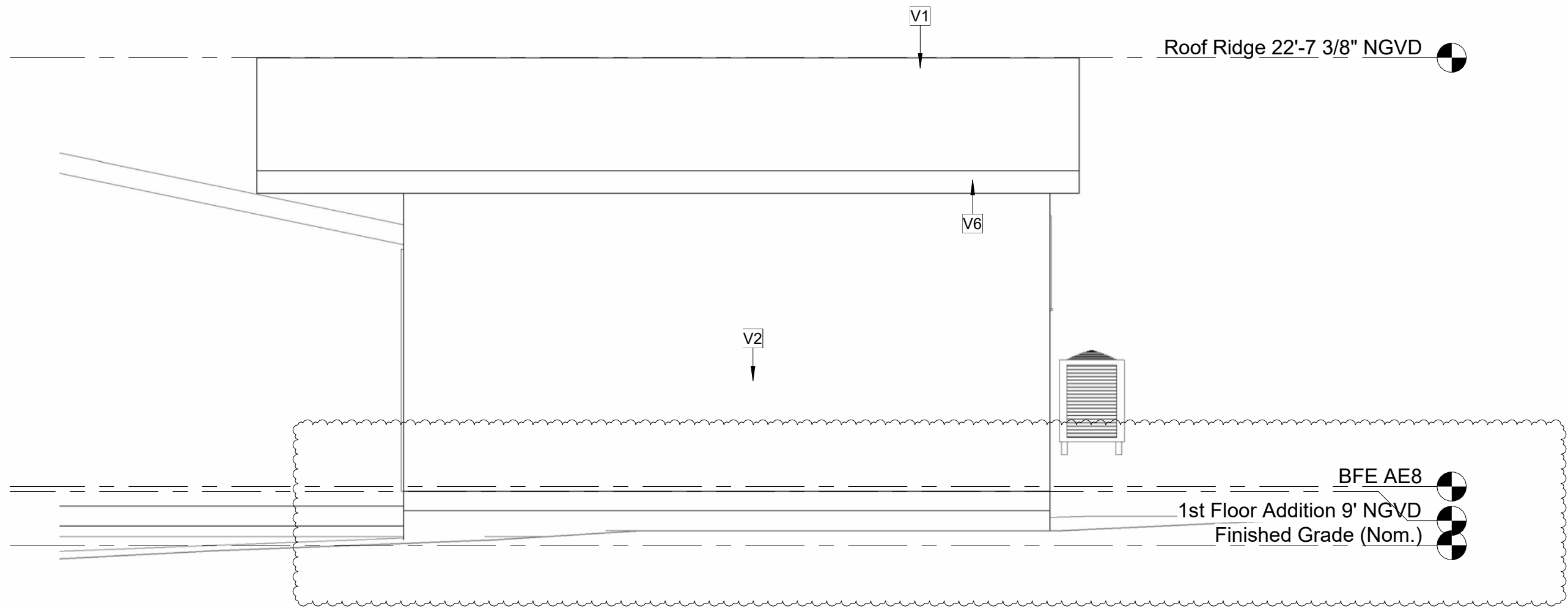
Finished Grade (Nom.)

EXIST  
POOL

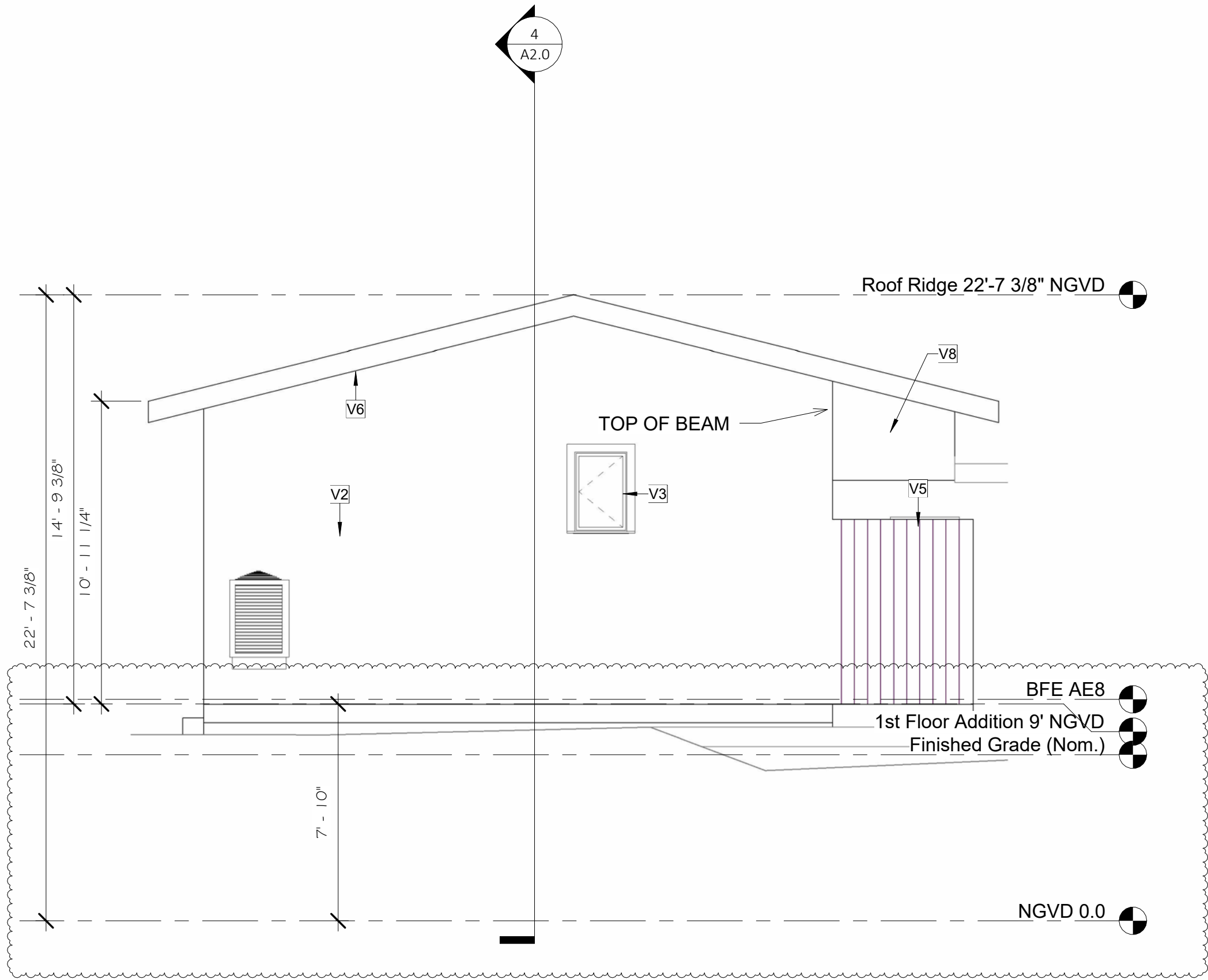
NGVD 0.0

REV 050125: LOWERED FLOOR ELEVATION BELOW DFE

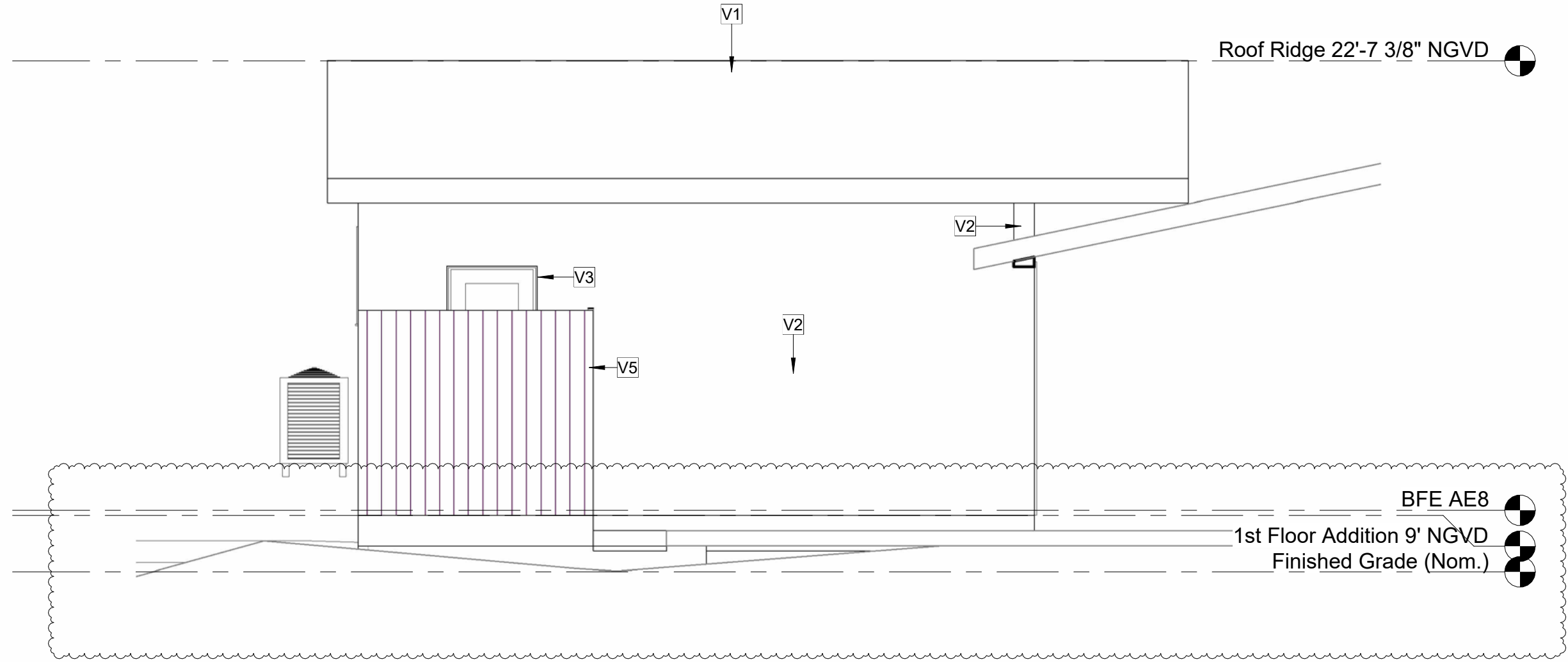




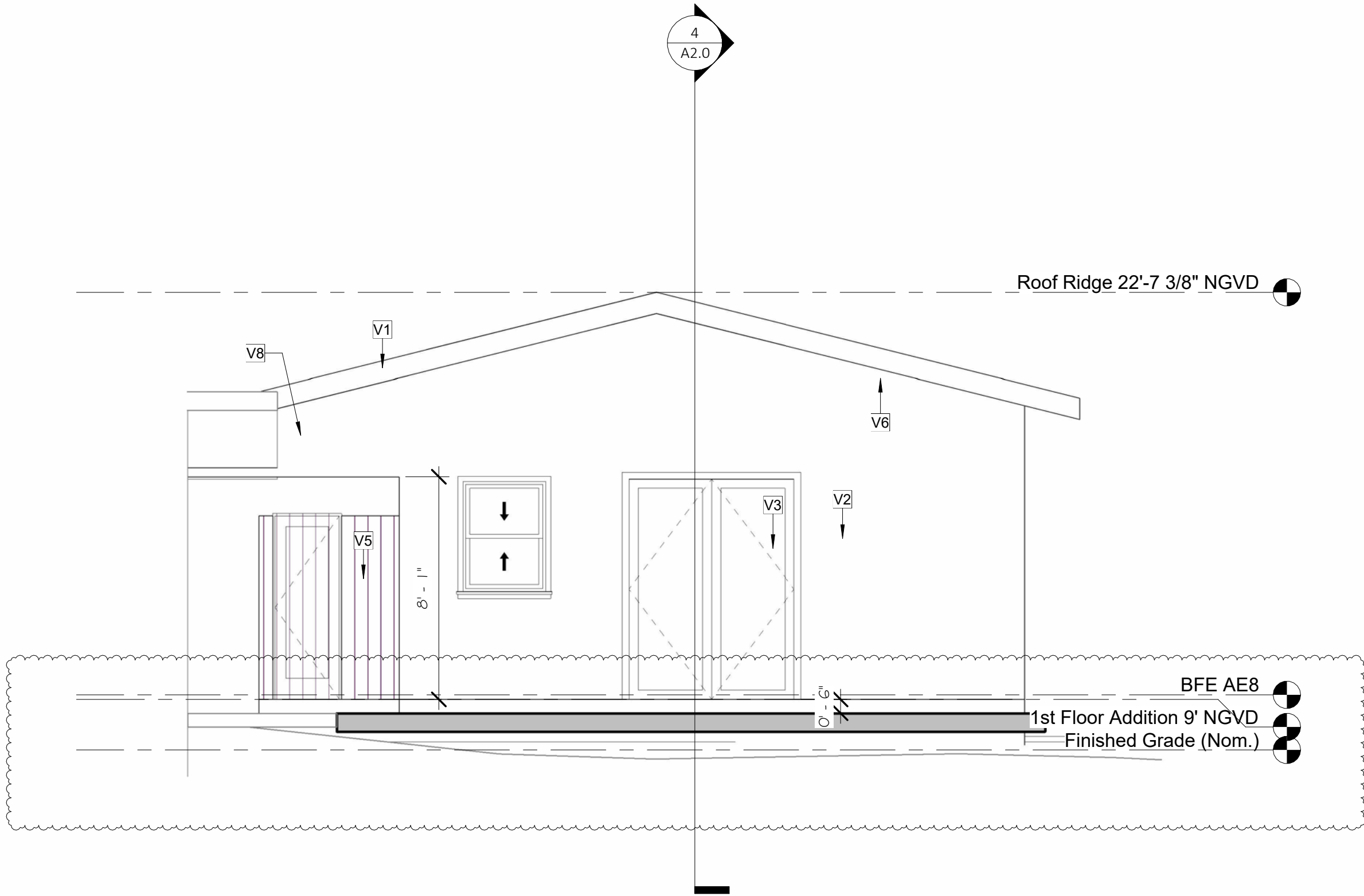
3 Elevation 3 - a  
1/4" = 1'-0"



4 Elevation 4 - a  
1/4" = 1'-0"



1 Elevation 1 - a  
1/4" = 1'-0"



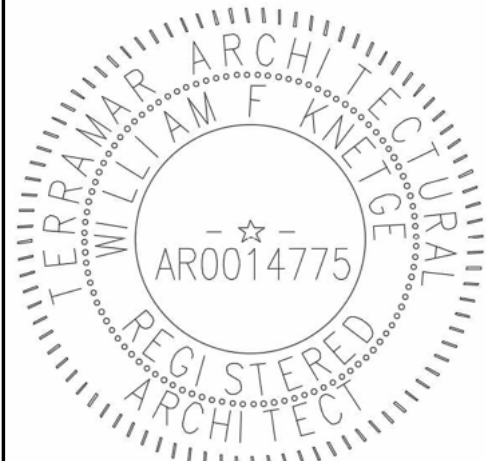
2 Elevation 2 - a  
1/4" = 1'-0"

Key Value	Keynote Text
V1	METAL ROOFING; COLOR SELECTED BY OWNER.
V2	STUCCO 2 COAT FINISH, MIN 5/8" THK; PAINT.
V3	IMPACT WINDOW/ DOOR.
V5	VINYL FENCE BY OTHERS.
V6	FASCIA WRAP W/ PREFINISHED ALUM TO MATCH ROOFING.
V8	3/4" CDX PLYWD; 8d @ 4" O.C. (2) LAYERS GRACE ULTRA; METAL LATHE; 5/8" STUCCO PAINT.



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Exterior Elevations

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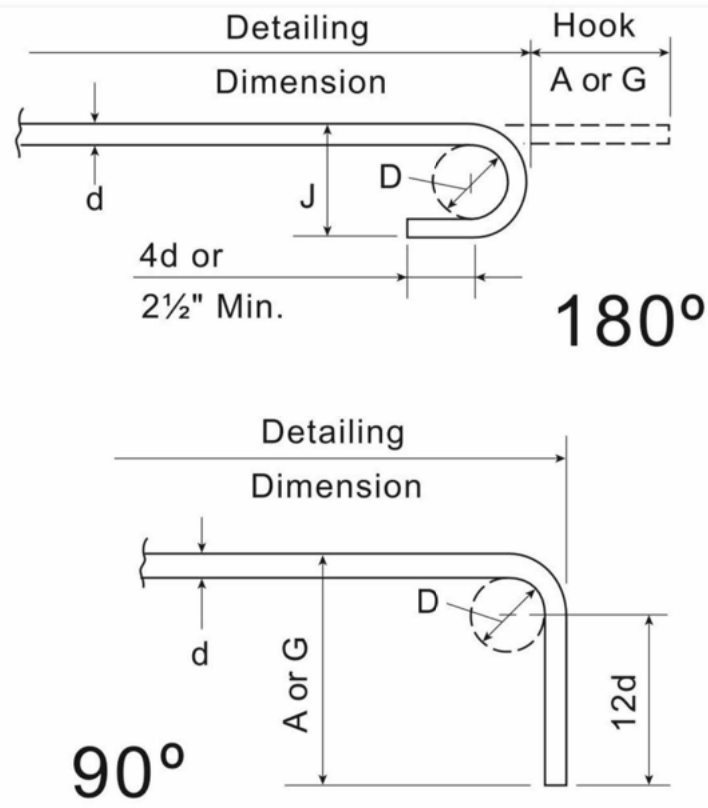
A3.0



All grades of steel (minimum yield strengths)

D = Finished inside bend diameter  
d = Bar diameter

Bar Size	D	180° HOOKS		90° HOOKS
		A or G	J	A or G
#3	2 ¼"	5"	3"	6"
#4	3"	6"	4"	8"
#5	3 ¾"	7"	5"	10"
#6	4 ½"	8"	6"	1'-0"
#7	5 ½"	10"	7"	1'-2"
#8	6"	11"	8"	1'-4"
#9	9 ½"	1'-3"	11 ¾"	1'-7"
#10	10 ¾"	1'-5"	1'-1 ¼"	1'-10"
#11	12"	1'-7"	1'-2 ¾"	2'-0"
#14	18 ¼"	2'-3"	1'-9 ¾"	2'-7"
#18	24"	3'-0"	2'-4 ½"	3'-5"



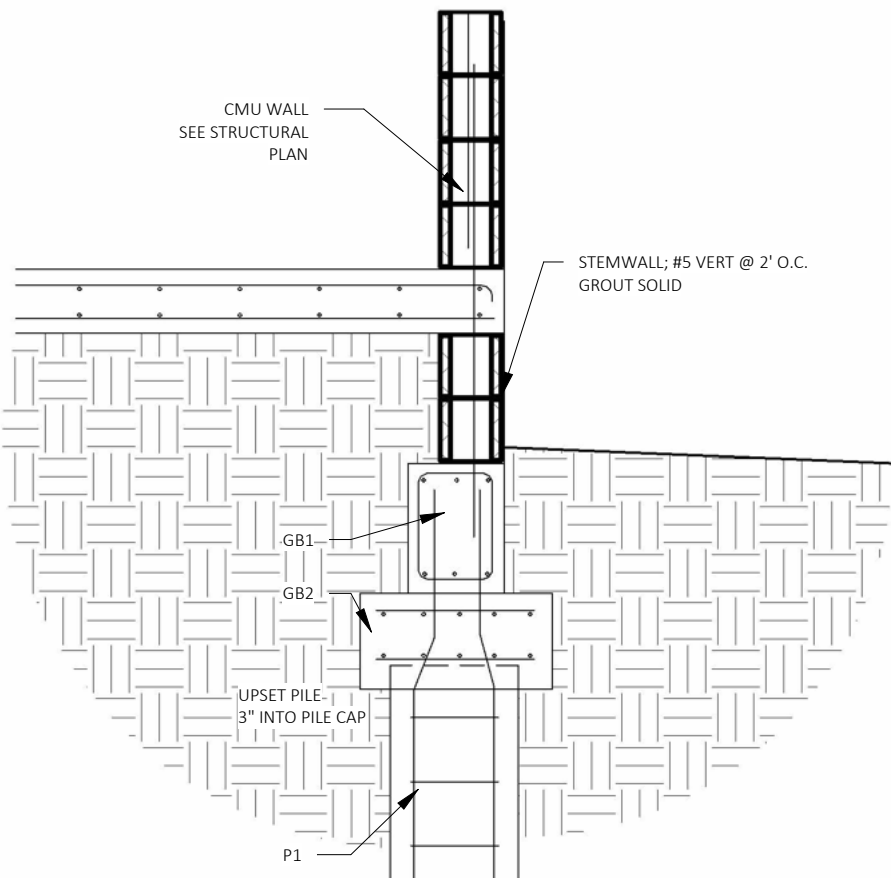
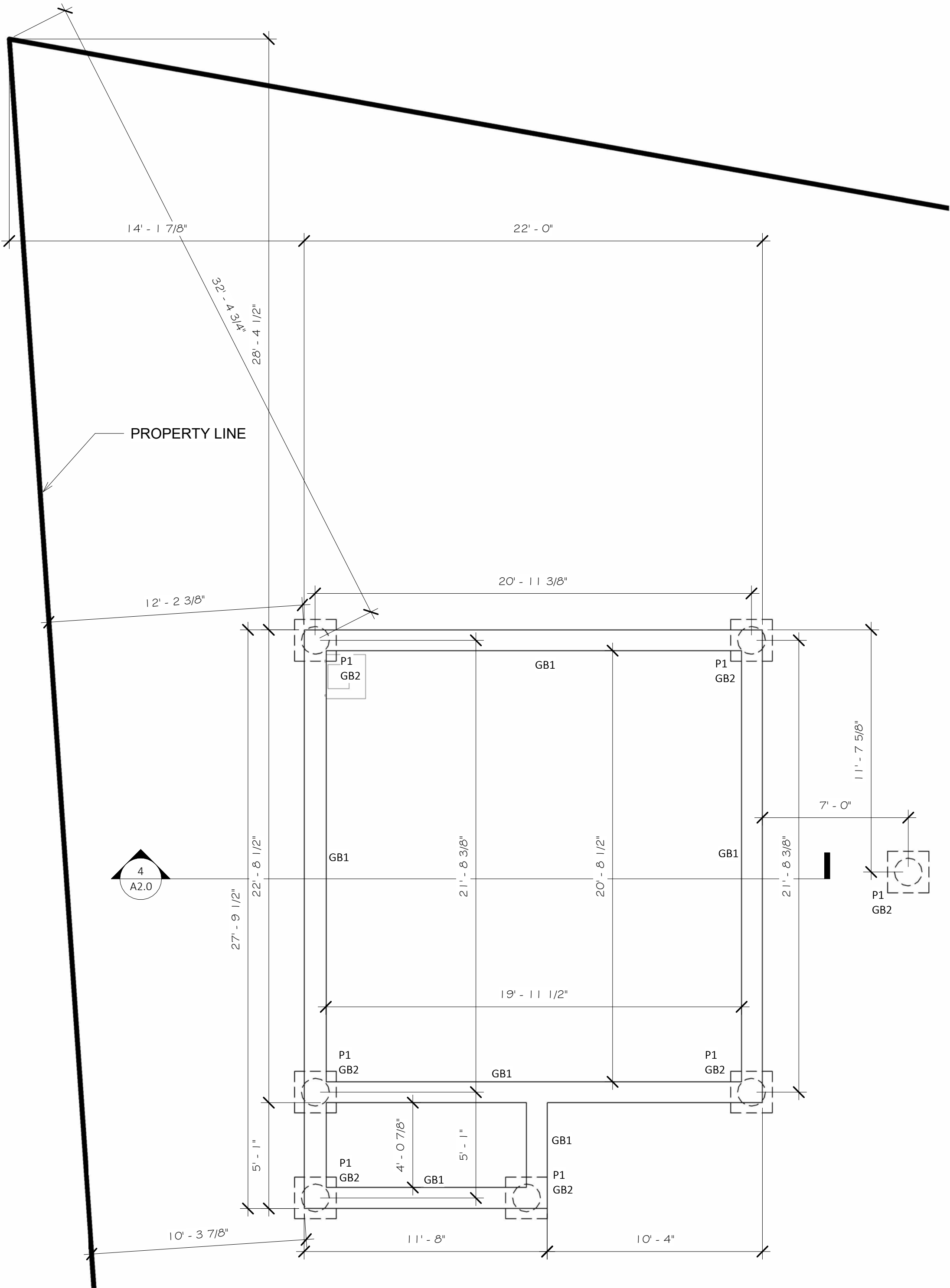
CLASS "B" TENSION LAP SPLICES			
BAR SIZE \ P.C.	3,000 psi	4,000 psi	5,000 psi
#4	43"	37"	33"
#5	54"	47"	42"
#6	64"	56"	50"
#7	94"	81"	73"
#8	107"	93"	83"
#9	121"	105"	94"
#10	136"	118"	105"
#11	151"	131"	117"

FOUNDATION SCHEDULE

MARK	DESCRIPTION (W x H)	TOP STEEL	BOTTOM STEEL	TIES
GB1	12 X 16	(3) #5	(3) #5	#3 @ 8" O.C.
GB2	24 x 24 x 12H	(4) #5 EW	(4) #5 EW	N/A
P1	16" DIA AUGER PILE; 5#5 VERT; #3 TIES @ 8" O.C. EMBED MIN. 3' INTO NATURAL UNDISTURBED ROCK; SEE SPECIFICATIONS.			
P2	4" X 4" X 1/4" HSS PIN PILE; FILL W/ 3000 PSI CONC. DRIVE MIN. 3' INTO NATURAL UNDISTURBED ROCK; SEE SPECIFICATIONS.			
ALL BEAM AND PILE CAP ELEVATIONS SHALL BE DERIVED FROM THE ARCH. FLOOR PLAN				

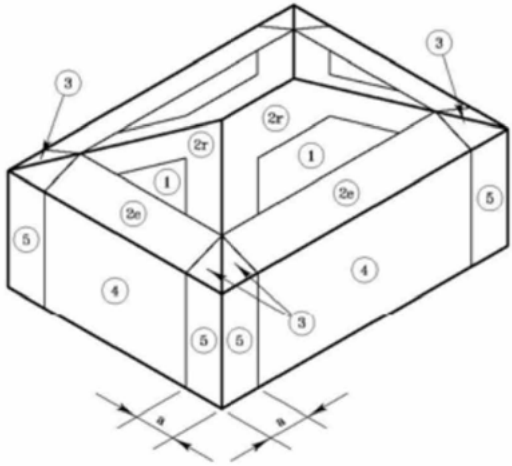
8" PRECAST U-LINTELS STANDARD LENGTHS		
OVERALL LENGTH	TOP STEEL	BOTTOM STEEL
3'-0"	2 - 7/32" wire	2 - #3 rebar
3'-4"	2 - 7/32" wire	2 - #3 rebar
3'-6"	2 - 7/32" wire	2 - #3 rebar
4'-0"	2 - 7/32" wire	2 - #3 rebar
4'-6"	2 - 7/32" wire	2 - #3 rebar
4'-8"	2 - 7/32" wire	2 - #3 rebar
5'-4"	2 - 7/32" wire	2 - #3 rebar
5'-10"	2 - 7/32" wire	2 - #3 rebar
6'-0"	2 - 7/32" wire	2 - #4 rebar
6'-6"	2 - 7/32" wire	2 - #4 rebar
6'-8"	2 - 7/32" wire	2 - #4 rebar
7'-4"	2 - 7/32" wire	2 - #4 rebar
7'-6"	2 - 7/32" wire	2 - #4 rebar
8'-0"	2 - #3 rebar	2 - #4 rebar
8'-8"	2 - #3 rebar	2 - #4 rebar
9'-4"	2 - #3 rebar	2 - #4 rebar
10'-0"	2 - #3 rebar	2 - #4 rebar
10'-6"	2 - #3 rebar	2 - #4 rebar
10'-8"	2 - #3 rebar	2 - #5 rebar
11'-4"	2 - #3 rebar	2 - #5 rebar
12'-0"	2 - #3 rebar	2 - #5 rebar
13'-4"	2 - #3 rebar	2 - #5 rebar
14'-0"	2 - #3 rebar	2 - #5 rebar

Additional lengths available by special order



PILE DETAIL TYPICAL  
1/2" = 1'-0"

STRUCTURAL DESIGN DATA	
<b>Floor &amp; Roof Live Loads</b> ( R-3 • Single-Family Dwellings )	
Attics:	20 psf w/ storage, 10 psf w/o storage
Habitable Attics, Bedroom:	30 psf
All Other Rooms:	40 psf
Garage:	40 psf
Roofs:	20 psf
(Balcony and Deck live loads are 150% of the adjacent space served.)	
<b>Wind Design Data</b>	
Ultimate Wind Speed:	180 mph
Risk Category:	II
Enclosure Classification:	Enclosed
Roof Slope:	3.0 in 12 ( 14.0° )
(The Nominal Wind speed was used to determine the Component and Cladding design pressures.)	
(This Building is in a Wind-Borne Debris Region, and all exterior glazed openings shall be protected from wind-borne debris.)	
<b>Components and Cladding</b>	
Roof Zone 1:	+31.0 psf max., -94.4 psf min.
Roof Zone 2e:	+31.0 psf max., -94.4 psf min.
Roof Zone 2n:	+31.0 psf max., -137.7 psf min.
Roof Zone 2r:	+31.0 psf max., -137.7 psf min.
Roof Zone 3e:	+31.0 psf max., -137.7 psf min.
Roof Zone 3r:	+31.0 psf max., -163.7 psf min.
Overhang at Roof Zone 1:	-108.3 psf min.
Overhang at Roof Zone 2e:	-108.3 psf min.
Overhang at Roof Zone 2n:	-151.6 psf min.
Overhang at Roof Zone 2r:	-151.6 psf min.
Overhang at Roof Zone 3e:	-177.6 psf min.
Overhang at Roof Zone 3r:	-207.9 psf min.
Wall Zone 4:	+51.2 psf max., -55.4 psf min.
Wall Zone 5:	+51.2 psf max., -68.4 psf min.

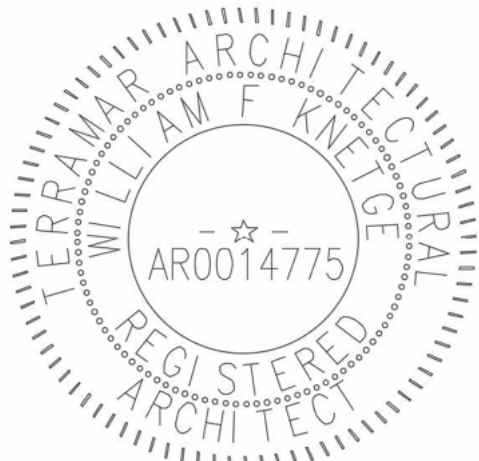


Foundation plan  
1/4" = 1'-0"



TERRA MAR  
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Foundation Plan

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

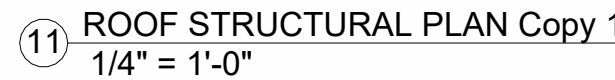
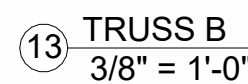
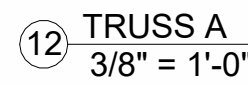
0096200-000000

S1.0





SCALE: NOT TO SCALE



NOTE:

1. ANCHOR FILLED CELLS INTO SLAB OR BEAM ABOVE / BELOW AND LINTEL.
2. PROVIDE FILLED CELLS W/ (1) #5 @ EACH SIDE OF OPENING UNLESS NOTED OTHERWISE
3. SEE SECTIONS FOR BEAMS THAT MAY VARY.

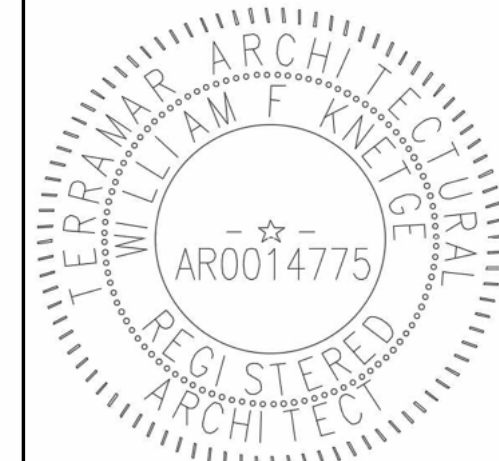
MASONRY NOTES:

- 



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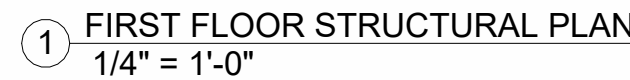
# First Flr Struct Plan

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

0096200-000000

## S2.0





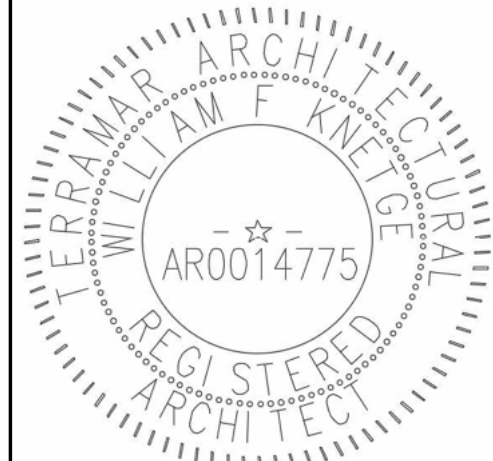






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# HVAC & Plumbing Plans

80951 Old Hwy  
Islamorada, FL 33036

NOVEMBER 6, 2023

0096200-000000

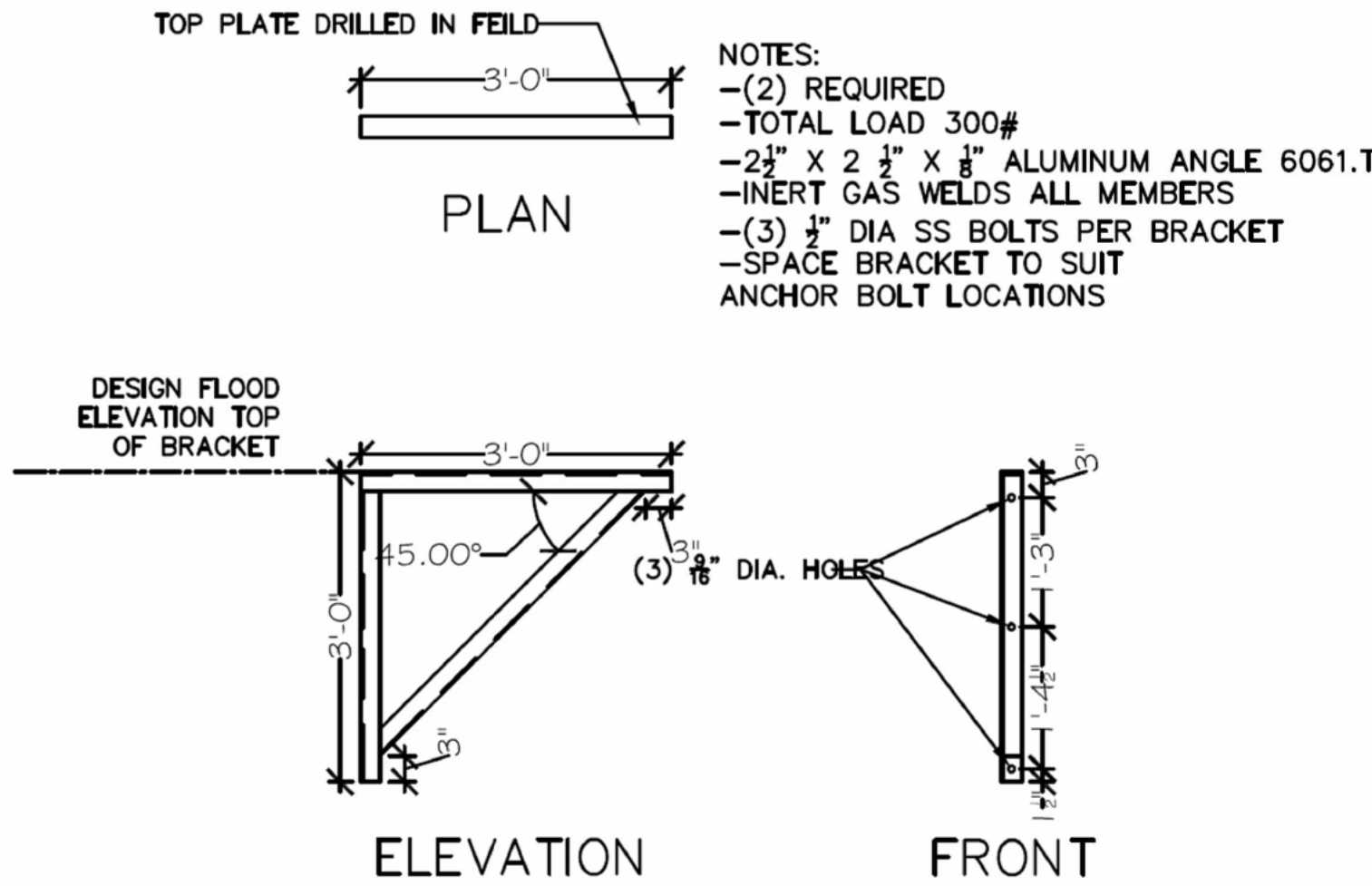
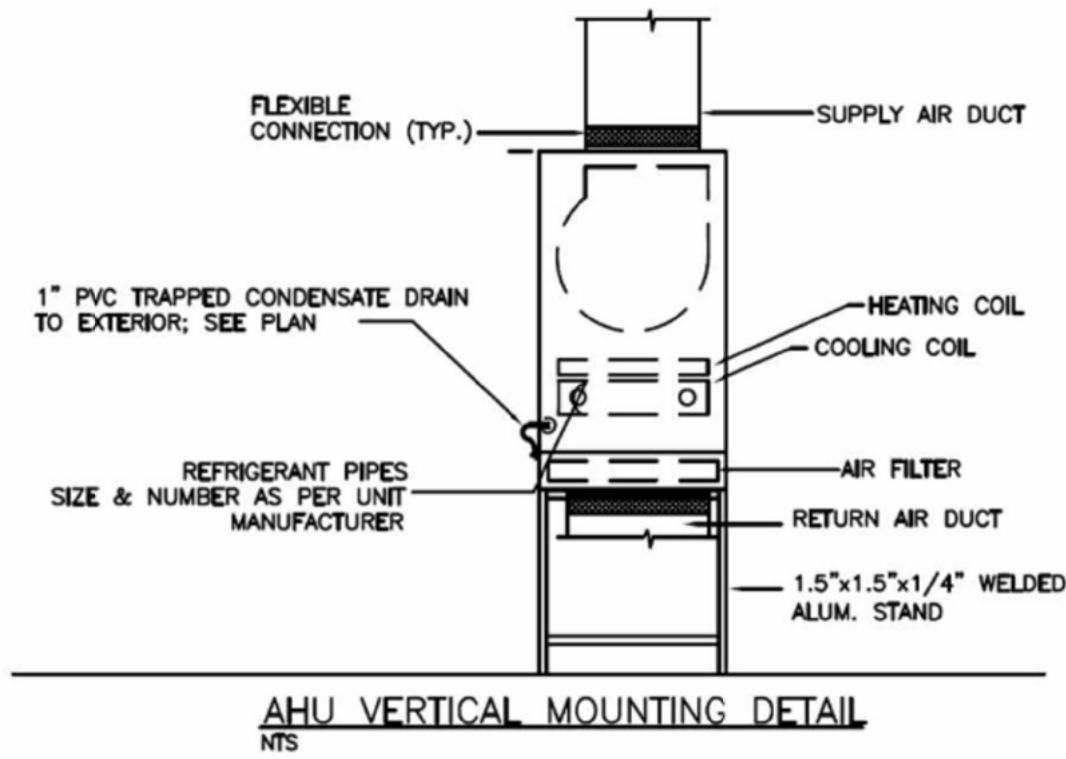
MP1

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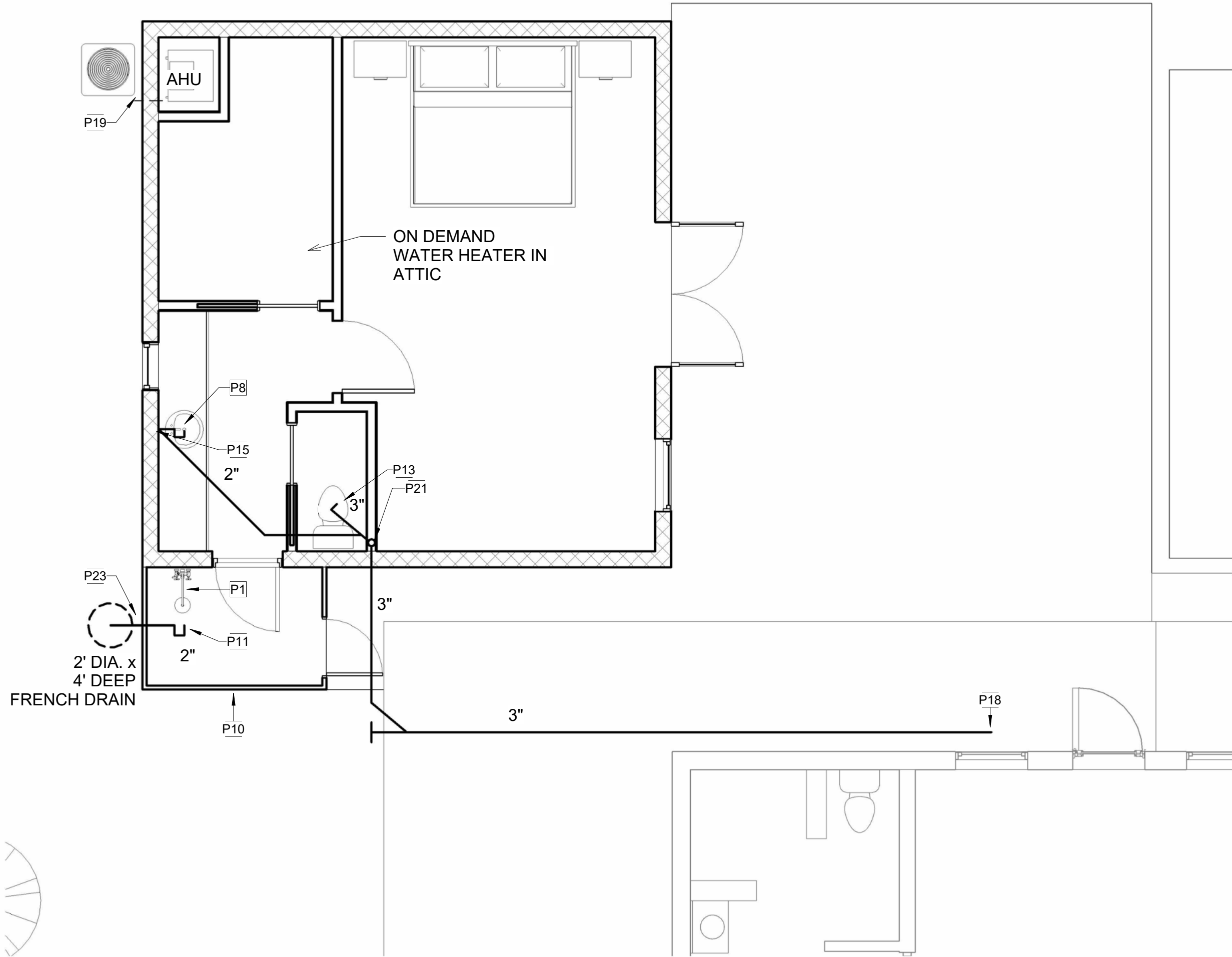
AIR CONDITIONING EQUIPMENT SCHEDULE		
UNIT	AHU #1	CU #1
MIN. SEER2	19	19
LOCATION	WALL MOUNTED	INTERIOR STAND
SIZE	1.5 TONS	1.5 TONS
ELEC SERV	240VAC	240VAC
NOM HEATING	5 KW COIL	N/A
MANUF/MODEL	LENNOX/ CBX-018	LENNOX/ XP19-018

## GENERAL HVAC NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
- ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
- REFER TO THE C1.0 SITE PLAN FOR SITE LAYOUT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND LIMITATIONS OF EXISTING SANITARY AND WATER.
- CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
- HVAC FLEX DUCT LONGER THAN 3' IS PROHIBITED.
- SEE MECHANICAL CUT SHEETS FOR EQUIPMENT DETAILS.

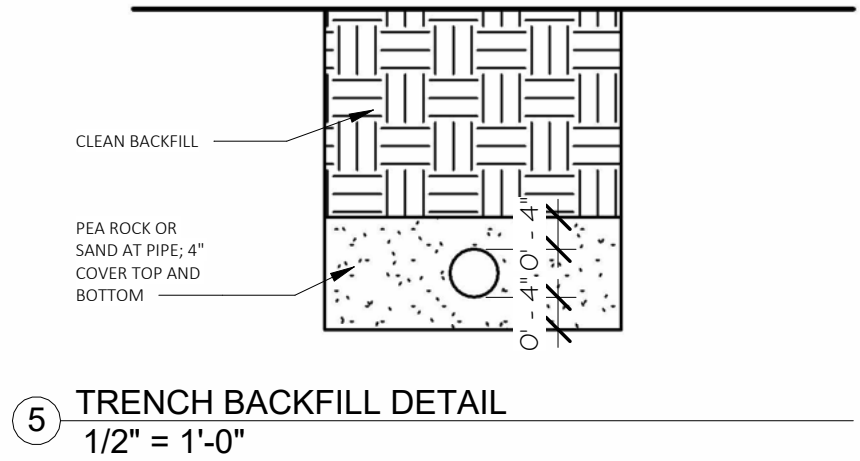


3 A/C CONDENSER BRACKET  
6" = 1'-0"



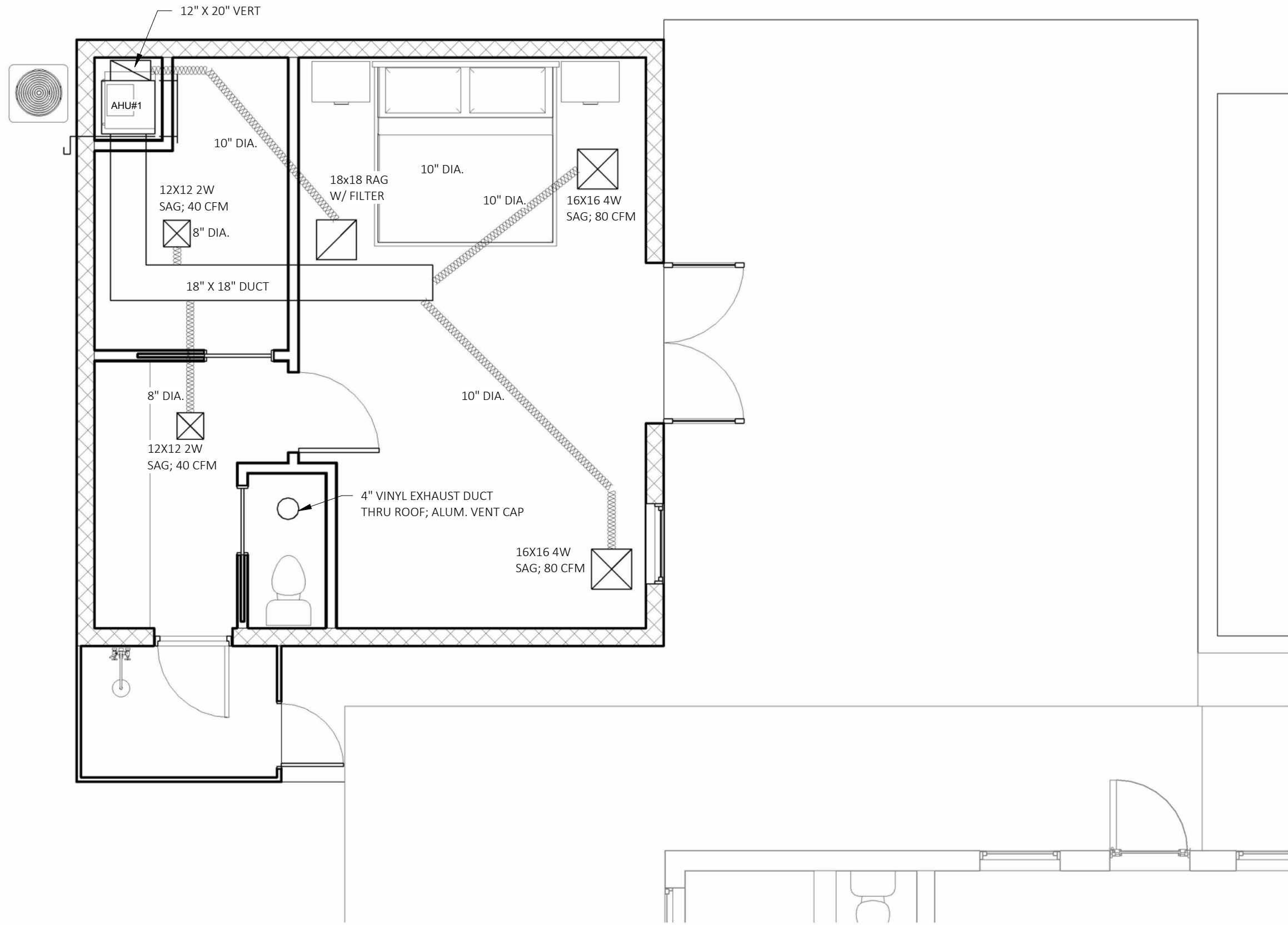
4 FIRST FLOOR  
1/4" = 1'-0"

Key Value	Keynote Text
P1	HOT, COLD SUPPLY SHOWER VALVE AND HEAD
P8	2" TRAP W/ CLEAN OUT; CHROME PLATED BRASS ESCUTCHEONS & VALVES.
P10	SHOWER PRIVACY FENCE BY OTHERS
P11	4" PVC/STAINLESS SHOWER DRAIN W/ 2" P-TRAP; COORD W/ MEMBRANE.
P13	3" TOILET FLANGE W/ WAX RING
P15	1.5" AUTOVENT (AAV).
P18	CONNECT TO EXISTING GRAVITY LINE
P19	1" CONDENSATE LINE TO LANDSCAPING AT 3" TO 6" ABOVE GRADE; PROVIDE TRAP AND THREADED ACCESS FOR CLEANING LINES.
P21	2" VENT THRU ROOF; COMBINE TO MINIMIZE ROOF PENETRATIONS. COORDINATE WITH ROOF MEMBRANE. APPROVED BOOT REQ'D.
P23	24" DIAMETER FRENCH DRAIN; 57 AGGREGATE; GEOTEXTILE.



5 TRENCH BACKFILL DETAIL  
1/2" = 1'-0"

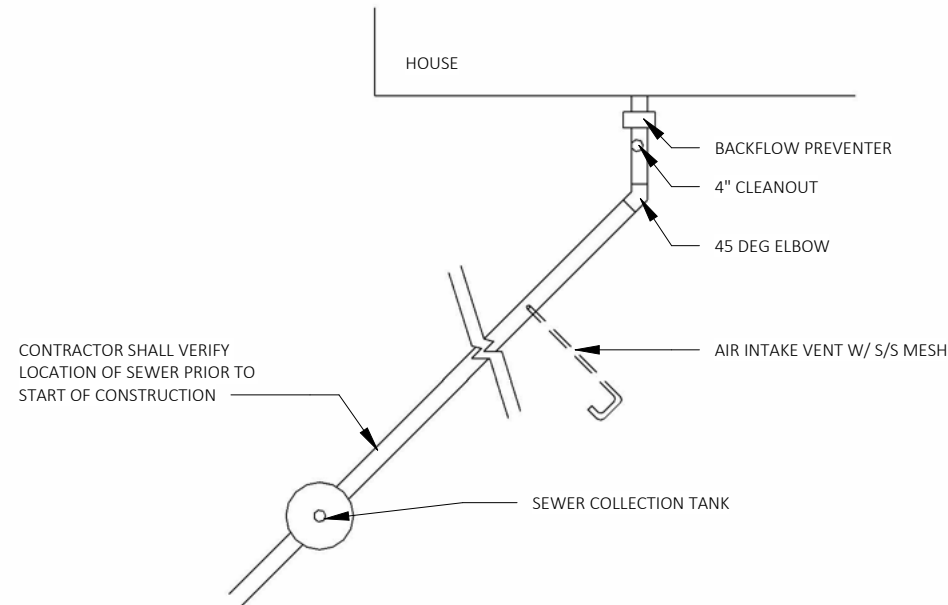
1 FIRST FLOOR  
1/4" = 1'-0"



## GENERAL PLUMBING NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT FLORIDA BUILDING CODE AND REQUIREMENTS OF THE POWER COMPANY.
- ALL WORK SHALL COMPLY WITH INDUSTRY BEST PRACTICES.
- REFER TO THE C1.0 SITE PLAN FOR SITE LAYOUT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND LIMITATIONS OF EXISTING SANITARY AND WATER.
- CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT IN WRITING REGARDING ANY DEVIATION FROM PLANS AND SPECIFICATIONS.
- ALL SANITARY SLOPE SHALL COMPLY WITH THE FLORIDA PLUMBING CODE.
- ALL PIPING SHALL BE BACKFILLED WITH CLEAN FILL.
- ALL DOMESTIC WATER BELOW SLAB SHALL BE SLEEVED.
- COORDINATE VENTS WITH G.C.
- PROVIDE 1" SCHEDULE 80 PVC WATER MAIN TO HOUSE. PROVIDE SHUTOFF VALVE IN FIBERGLASS HAND HOLE WITHIN 3' OF BUILDING.
- ALL SHOWERS SHALL RECEIVE 40 MIL OATEY SHOWER PAN LINER. NO SEAMS PERMITTED. SEAL PER MANUFACTURER AT DRAIN.

6 SEWER CONNECTION DIAGRAM  
1/2" = 1'-0"





## Islamorada, Village of Islands Planning & Development Services

86800 Overseas Highway, Islamorada, FL 33036

T: 305-664-6400, F: 305-664-6467

### APPLICATION FOR VARIANCE

Pursuant to Code Chapter 30, Article IV, Division 2

Application Type:	Fee:	*Deposit:	Total Fee:
Residential	\$1,500.00	\$500.00	\$2,000.00
Nonresidential	\$2,000.00	\$500.00	\$2,500.00

\* A deposit is required for development approval or permits which necessitate additional review and processing, and/or public hearing and notice requirements. Applicants are required to pay a cost recovery deposit which shall be credited toward the fee charged for such additional review and processing and shall pay additional deposits as may be required from time to time. A debit based upon the actual time expended in reviewing an application and the applicable actual amount charged to the Village shall be charged against the cost recovery deposit.

An application must be deemed complete and in compliance with the Village Code by Staff prior to the items being scheduled for review. **See list of required submittals and documents below.**

**APPLICANT / AGENT (if applicable):** Property owner must submit a **notarized** letter authorizing the applicant/agent to act on their behalf including the agent's name, address and phone number.

Name: Patricia S Esslinger  
Mailing Address: 80951 Old Highway, Islamorada, FL 33036  
Primary Phone: 305-393-4433 Fax: \_\_\_\_\_  
Email: patti.stanley@me.com

#### PROPERTY OWNER:

Name: Patricia S Esslinger  
Mailing Address: 80951 Old Highway, Islamorada, FL 33036  
Primary Phone: 305-393-4433 Fax: \_\_\_\_\_  
Email: patti.stanley@me.com

**LEGAL DESCRIPTION OF PROPERTY:** If in metes and bounds, attach legal description on separate sheet.

Physical Address: 80951 Old Highway, Islamorada, FL 33036 Mile Marker: \_\_\_\_\_  
Lot: 6 Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
☐ Plantation Key ☐ Windley Key ☒ Upper Matecumbe Key ☐ Lower Matecumbe Key  
Real Estate (RE) Number: 00096200-000000 Alternate Key: 1111783

#### PROPERTY DESCRIPTION:

Zoning District: Settlers Residential Future Land Use Category: \_\_\_\_\_  
Total Land Area: \_\_\_\_\_ Square Feet 11,180  
Existing Use of Property: Multi-family Duplex

Proposed Use of Property: Multi-Family Duplex



## Application for Variance

### PROPOSED VARIANCE:

State the Code Section(s) and the Land Development Regulations standard(s) required (i.e., setbacks, parking, loading, Sec 30-691 Settlers residential (SR) Zoning District , Specifically Section 3.4.C Rear Yard Setback of minimum 20 feet

### PROPOSED VARIANCE (Continued):

Describe the variance requested:

Requesting to have a variance to encroach on the 20 foot setback so that the Concrete Slab of attached addition can be constructed at or as close to the height of the concrete slab of the existing structure

**List all applications for development permits submitted for the site within the past three (3) years.** Please indicate the type of application, name of applicant, date of application and whether the application was approved, denied or withdrawn.

- |   |                |                       |            |            |              |
|---|----------------|-----------------------|------------|------------|--------------|
| • | PRBLD202500406 | Patricia S Esslinger  | Building   | 4/29/2025  | Under review |
| • | PRMCH202401077 | Patricia S Esslinger  | Mechanical | 10/7/2024  | Approved     |
| • | PRBLD202301268 | Patricia S Esslinger. | Building   | 12/14/2023 | Approved     |
| • | PRBLD202300933 | Patricia S Esslinger  | Building   | 8/30/2023  | Approved     |
| • | PRBLD202201490 | Patricia S Esslinger  | Building   | 12/14/2022 | Approved     |

**CRITERIA: No variance shall be approved which fails to meet any standard below. Failure to comply with any standard shall be deemed adverse to the public interest. Please describe how the proposed variance meets each standard. Attach additional sheets if necessary.**

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district:

In this instance the dwelling falls into a unique circumstance whereas the ordinance allows for Accessory structures for single family structures, but since the dwelling is a multi-family structure that falls into a gray area. The permit has been approved as such for an attached accessory structure with the accessory structure setback consideration, but in doing so that requires us to construct the concrete slab at the current NGVD which places the concrete slab higher than the current structure and requires several landings in order to access the home which makes it difficult for aging and mobility impacted individuals to access the Accessory Structure/Addition

2. The special conditions and circumstances do not result from the actions of the applicant:

No, They Do not

3. Literal interpretation of the provisions of the Land Development Regulations ("LDRs") deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the LDRs and works unnecessary and undue hardship on the applicant:

This application is being affected by two sections of ordinance Sec 30-691 where Accessory structures are only intended for single family use and the Setbacks require at least 20' from the rear.

Under the attached accessory structure we were able to overcome the hurdle of the setbacks, but are being required to construct at (or above) NGVD for the new construction, where as if we could construct as an addition with a variance on the setback, we could construct below NGVD to match that of the current and primary structure.

## Application for Variance

4. Granting the variance requested conveys the same treatment to the individual owner as to the owner of other lands, buildings, or structures in the same zoning district:

Yes, granting this variance to this parcel is directly in the benefit of the individual owner and that parcel in particular in reference

5. The variance, if granted, is the minimum variance that makes possible the reasonable use of the land, building, or structure:

The minimal Variance would be to allow for the addition to be built at the same location as already proposed and approved, but as an addition that allows it to be built at only a 9' setback instead of the 20' setback at the NGVD of the existing primary structure.

6. The grant of the variance is in harmony with the general intent and purpose of this chapter, and is not injurious to the neighborhood, or otherwise detrimental to the public welfare:

This parcel of land is surrounded by commercial property on all 3 sides and the approval of this variance will not impede or be injurious to that of the county, the village, the neighborhood, or public welfare.

**REQUIRED SUBMITTALS:** All of the following must be submitted in order to have a complete application.

- ☒ **Correct application fee (Total Fee Amount).**
- ☐ **Notarized agent authorization letter**, if applicable, including the agent's name, address and phone number authorizing the applicant/agent to act on all property owners' behalf.
- ☒ **Proof of ownership** e.g. warranty deed, lease or pending sale contract.
- ☒ **Property record card(s)** from the Monroe County Property Appraiser.
- ☒ **Location map** showing where the project is located on the Key.
- ☒ **Photographs** of site from adjacent streets or a recent aerial photograph with property boundaries delineated.
- ☒ **Signed and sealed survey** prepared by a Florida registered surveyor. The survey shall include elevations and location of all existing structures, paved areas, location of all utility structures, all easements, all bodies of water on and adjacent to the site, docks, piers, mean high water line and total acreage by habitat.
- ☒ **Site plan** prepared by a professional architect, engineer, or landscape architect. See Code Section 30-215 for minimum site plan requirements.

Application for Variance

If deemed necessary to complete a full review of the application, the Planning and Development Services Department reserves the right to request additional information.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate. I certify that all information required has been provided.

Digital signatures do not require notarization when they can be verified by a Trusted Certificate issued by a third-party Certificate Authority. If you are not using a "verifiable digital signature", print this document and have it notarized.

Signature of Applicant Patricia Stanley Esslinger Date 5/5/25

Print Name: PATRICIA STANLEY ESSLINGER

STATE OF FL  
COUNTY OF Manatee

Sworn to and subscribed before me by means of ☒ physical appearance or ☐ online notarization, this 5<sup>th</sup> day of May, 2025, by Patricia Stanley (name of person signing the application) as owner (type of authority e.g. officer, manager / member, trustee, attorney in fact) for \_\_\_\_\_ (name of entity or party on behalf of whom application was executed).

Deborah Esslinger  
Signature of Notary Public

SEAL: 

☒ Personally Known ☐ Produced Identification

Type of ID \_\_\_\_\_



